



**TOWN OF WESTLAKE, TEXAS  
PLANNING AND ZONING COMMISSION  
MEETING AGENDA**

**February 15, 2016**

**WESTLAKE TOWN HALL  
1301 Solana Blvd.  
Building 4, Suite 4202  
2<sup>ND</sup> FLOOR  
COUNCIL CHAMBERS  
WESTLAKE, TEXAS 76262**

**Work Session 5:00 p.m.  
Regular Session 6:00 p.m.**

**Work Session**

- 1. CALL TO ORDER**
- 2. DISCUSSION REGARDING ITEMS LISTED ON THE REGULAR MEETING AGENDA.**
- 3. DISCUSSION OF ITEMS TO BE PLACED ON FUTURE AGENDAS AND UPDATES ON DEVELOPMENT TRENDS, PROGRESS AND TOWN COUNCIL ACTIONS ON PAST AGENDA ITEMS.**
- 4. ADJOURNMENT**

**Regular Session**

- 1. CALL TO ORDER**
- 2. REVIEW AND APPROVE MINUTES FROM THE MEETINGS HELD ON JANUARY 4, 2016.**

3. **CONDUCT A PUBLIC HEARING AND CONSIDER A RECOMMENDATION REGARDING, AN AMENDMENT TO THE CODE OF ORDINANCES, CHAPTER 102 SECTION 102-31(A) "ZONING MAP"; PROVIDING FOR INTERPRETATION, PURPOSE AND CONFLICT.**
4. **CONDUCT A PUBLIC HEARING AND CONSIDER A RECOMMENDATION REGARDING A ZONING CHANGE REQUEST TO AMEND "PLANNING AREA 5," A PORTION OF PLANNED DEVELOPMENT DISTRICT 3 (PD 3-5), LOCATED ALONG STATE HIGHWAY 170 AND STATE HIGHWAY 114, BY DIVIDING SAID PLANNING AREA INTO TWO (2) NEW PLANNING AREAS TO BE KNOWN AS PD 3-5A AND PD 3-5B AND ESTABLISHING DEVELOPMENT REGULATIONS, PERMITTED USES, AND ALLOWABLE DENSITIES FOR BOTH PLANNING AREAS.**
5. **CONDUCT A PUBLIC HEARING AND CONSIDER A RECOMMENDATION REGARDING A PLANNED DEVELOPMENT ZONING DISTRICT (PD) SITE PLAN FOR THE "PLANNING AREA 2" PORTION OF PLANNED DEVELOPMENT DISTRICT 1 (PD 1-2), ESTABLISHED BY ORDINANCE 703 FOR THE PROPERTY GENERALLY LOCATED ON THE SOUTH SIDE OF STATE HIGHWAY 114, EAST OF DAVIS BOULEVARD AND NORTH OF SOLANA BOULEVARD.**
6. **ADJOURNMENT**

**CERTIFICATION**

I certify that the above notice was posted at the Town Hall of the Town of Westlake, 3 Village Circle, Suite 202, Westlake, Texas, 76262, February 11, 2016, by 5:00 p.m. under the Open Meetings Act, Chapter 551 of the Texas Government Code.

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Kelly Edwards, TRMC, Town Secretary

If you plan to attend this public meeting and have a disability that requires special needs, please advise the Town Secretary 48 hours in advance at 817-490-5710 and reasonable accommodations will be made to assist you.

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# Planning and Zoning

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Item # 2 –

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Back up material has not  
been provided for this  
item.

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**DISCUSSION REGARDING ITEMS LISTED ON THE REGULAR MEETING  
AGENDA.**

***NO ACTION WILL BE TAKEN DURING THE WORK SESSION.***

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# Planning and Zoning

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Item # 3

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Back up material has not  
been provided for this  
item.

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**DISCUSSION OF ITEMS TO BE PLACED ON FUTURE AGENDAS AND  
UPDATES ON DEVELOPMENT TRENDS, PROGRESS AND TOWN COUNCIL  
ACTIONS ON PAST AGENDA ITEMS.**

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# Planning and Zoning

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Item # 4 – Adjournment  
Work Session

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Back up material has not  
been provided for this  
item.

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**MINUTES OF THE  
TOWN OF WESTLAKE, TEXAS  
PLANNING AND ZONING COMMISSION MEETING**

**January 4, 2016**

**PRESENT:** Commissioners Liz Garvin, Greg Goble, Ryan Groce, Ken Kraska and Michelle Lee.

**ABSENT:** Chairman Tim Brittan

**OTHERS PRESENT:** Town Manager Tom Brymer, Planning and Development Director Eddie Edwards, Town Attorney Cathy Cunningham, Town Secretary Kelly Edwards, Assistant Town Manager Amanda DeGan, Director of Public Works Jarrod Greenwood, Fire Chief Richard Whitten, Communications & Community Affairs Director Ginger Awtry, Finance Director Debbie Piper, Susan McFarland, Communications Specialist and Management Intern Joel Enders.

**Work Session**

**1. CALL TO ORDER**

Commissioner Lee called the work session to order at 5:02 p.m.

**2. EXECUTIVE SESSION**

The Commission convened into executive session at 5:03 p.m.

The Commission will conduct a closed session pursuant to Texas Government Code, annotated, Chapter 551, Subchapter D for the following:

- a. Sec. 551.071. Consultation with Attorney (2) on a matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with this chapter: Ordinance 691

**3. RECONVENE MEETING**

Commissioner Lee reconvened the meeting at 6:07 p.m.

**4. DISCUSSION REGARDING ITEMS LISTED ON THE REGULAR MEETING AGENDA.**

No additional discussion.

**5. DISCUSSION OF ITEMS TO BE PLACED ON FUTURE AGENDAS AND UPDATES ON DEVELOPMENT TRENDS, PROGRESS AND TOWN COUNCIL ACTIONS ON PAST AGENDA ITEMS.**

Town Manager Brymer stated Staff was preparing amendments to the Code regarding the Site Plan and Platting process and provided an overview of the Granada Phase II sale to Wilbow.

**6. ADJOURNMENT**

Commissioner Lee adjourned the work session at 6:10 p.m.

**Regular Session**

**1. CALL TO ORDER**

Commissioner Lee called the regular session to order at 6:10 p.m.

**2. REVIEW AND APPROVE MINUTES FROM THE MEETING HELD ON DECEMBER 1, 2015.**

**MOTION:** Commissioner Groce made a motion to approve the minutes. Commissioner Goble seconded the motion. The motion carried by a vote of 5-0.

**3. CONDUCT A PUBLIC HEARING AND CONSIDER A RECOMMENDATION REGARDING, Z-11-23-15, ZONING CHANGE APPLICATION FROM NON-ZONED TO R-5 "ESTATE RESIDENTIAL" FOR TWO NEWLY ANNEXED TRACTS OF LAND COMMONLY KNOWN AS 2205 AND 2217 N. PEARSON LANE, WESTLAKE TEXAS.**

Management Intern Enders provided a presentation and overview of the recently annexed property.

Commissioner Lee opened the public hearing.

No one addressed the Commission.

Commissioner Lee closed the public hearing.

**MOTION:** Commissioner Goble made a motion to recommend approval of the zoning change. Commissioner Garvin seconded the motion. The motion carried by a vote of 5-0.

**4. CONDUCT A PUBLIC HEARING AND CONSIDER A RECOMMENDATION REGARDING AN SUP-12-15-15, SPECIFIC USE PERMIT TO ALLOW THE SALE OF BEER, LIQUOR, AND WINE PACKAGE SALES AT THE CVS STORE TO BE LOCATED AT 35 ARTA DRIVE, BEING LOT 3, BLOCK N, OF THE WESTLAKE ENTRADA SUBDIVISION.**

Director Edwards provided a presentation and overview of the item.

Commissioner Lee opened the public hearing.

No one addressed the Commission.

Commissioner Lee closed the public hearing.

**MOTION:** Commissioner Garvin made a motion to recommend approval of the special use permit. Commissioner Kraska seconded the motion. The motion carried by a vote of 5-0.

**5. CONDUCT A PUBLIC HEARING AND CONSIDER A RECOMMENDATION REGARDING, Z-12-15-15, ZONING CHANGE APPLICATION, AMENDING ORDINANCE 691, THE ORDINANCE THAT AMENDED THE PD1 PLANNED DEVELOPMENT ZONING DISTRICT, CREATING AND REGULATING PD 1-1 PLANNING AREA. THE PROPERTY IS PARTIALLY DEVELOPED AND INCLUDES MULTIPLE PARCELS OF LAND INCLUDING THE PROPERTY COMMONLY KNOWN AS SOLANA. THE PROPERTY IS GENERALLY LOCATED SOUTH OF HWY 114 EXTENDING FROM DAVIS BLVD. EASTWARD TO THE TOWN BORDER, AND IS BOUNDED BY THE GRANADA SUBDIVISION TO THE WEST, AND GLENWYCK FARMS, CARLYLE, AND TERRA BELLA SUBDIVISIONS TO THE SOUTH. THIS IS A TOWN INITIATED AMENDMENT AND THE PROPOSED AMENDMENTS ARE LIMITED TO THE DEVELOPMENT REGULATIONS AND DO NOT CHANGE THE PERMITTED USES OR ALLOWED DENSITY WITHIN THE DEVELOPMENT.**

Director Edwards provided a presentation and overview of the item.

Commissioner Lee opened the public hearing.

Brian Driesse, Equity Office, representing Solana, spoke in opposition of the amendment and requested a continuance for two to three months pursuant to his letter as provided in the agenda packet.

Scott Simmons, 4325 Glenwood Avenue, Dallas, spoke in favor of the amendment and provided an overview of the Glenwyck and Granada developments.

Neil McNabney, 1815 Broken Bend Drive, spoke in favor of correcting the typographical error in the ordinance but believes that the intent was to create a buffer not to approve just a setback.

Michael Grandfield, 1827 Broken Bend Drive, spoke in favor of correcting the typographical and welcomed additional discussions with the Solana owners.

Yair Lotan, 1809 Broken Bend Drive, spoke in favor of correcting the typographical error in the ordinance.

Christie Renda, 1804 Copperfield Court, spoke in favor of correcting the typographical error in the ordinance.

Collin Stevenson, 1823 Broken Bend Drive, spoke in favor the typographical error in the ordinance. He does not agree that the wording should be a setback but buffer or greenbelt.

Payton Mayes, 1715 Terra Bella Drive, also representing Blackstone, spoke opposition of the amendment requesting a continuance.

Angela Bartholomae, 10806 Copperfield Court, submitted a speaker form in favor of the amendment, requesting not to speak.

Discussion ensued regarding the proposed amendment terminology, staff interpretation of ordinance 691 (Director Edwards), and building requirements on a slope view shade area (Comp Plan).

Commissioner Lee closed the public hearing.

**MOTION:** Commissioner Goble made a motion to recommend approval of an amendment to Ordinance 691, to restore the 500 foot building setback for all areas of PD1-1 adjacent to residential property, near or adjoining Glenwyck Farms and Granada and removing the 500 foot building setback from the area known as Entrada. Commissioner Kraska seconded the motion. The motion carried by a vote of 5-0.

**6. ADJOURNMENT**

There being no further business to come before the Commissioners, Commissioner Lee asked for a motion to adjourn.

**MOTION:** Commissioner Garvin made a motion to adjourn the meeting. Commissioner Groce seconded the motion. The motion carried by a vote of 5-0.

Commissioner Lee adjourned the meeting at 7:12 p.m.

**APPROVED BY THE PLANNING AND ZONING COMMISSION ON FEBRUARY 15, 2016.**

ATTEST:

\_\_\_\_\_  
Commissioner, Michelle Lee

\_\_\_\_\_  
Kelly Edwards, Town Secretary



**TYPE OF ACTION**

Regular Meeting - Action Item

**Monday, February 15, 2016**

**TOPIC:** Conduct a Public Hearing and Consider a Recommendation Regarding an Amendment to the Code of Ordinances, Chapter 102 Section 102-31(A) “Zoning Map”; Providing for Interpretation, Purpose and Conflict.

**STAFF CONTACT:** Eddie Edwards, Director of Planning and Development

**Strategic Alignment**

<u>Vision, Value, Mission</u>	<u>Perspective</u>	<u>Strategic Theme &amp; Results</u>	<u>Outcome Objective</u>
Planned / Responsible Development	N/A	High Quality Planning, Design & Development - We are a desirable well planned, high-quality community that is distinguished by exemplary design standards.	Preserve Desirability & Quality of Life
<b><u>Strategic Initiative</u></b>			
Outside the Scope of Identified Strategic Initiatives			

**Time Line - Start Date:** February 15, 2016 **Completion Date:** February 22, 2016

**Funding Amount:** 00.00 **Status -**  **Not Funded** **Source -** N/A

**EXECUTIVE SUMMARY (INCLUDING APPLICABLE ORGANIZATIONAL HISTORY)**

Section 102-31 of the Code of Ordinances references Exhibit A of Ordinance 521 as the Official Zoning Map of the Town of Westlake, a reference which is obsolete and no longer accurate. This proposed amendment updates Section 102-31(A) to remove the reference to Ordinance 521 and align this subsection with current best practices. Further, this amendment increases transparency by specifying where an up-to-date Official Zoning Map can be found and who is responsible for its retention. A copy of the Official Zoning Map is also available on the Town website at <http://westlake-tx.org/DocumentCenter/Home/View/113>.

The Official Zoning Map is in the process of being updated to accommodate the recent annexation and zoning of the property located at 2205 and 2217 Pearson Lane and may be further modified if the proposed rezoning of PD 3-5 moves forward. Note that the proposed amendment in no way mitigates any notification, public hearing, or approval processes required for the zoning or rezoning of any property.

### **RECOMMENDATION**

Staff recommends approval of this amendment.

### **ATTACHMENTS**

1. Current language of Chapter 102 Section 102-31(A) regarding the Official Zoning Map and proposed language to amend Chapter 102 Section 102-31(A) regarding the Official Zoning Map.

**1. Current language of Chapter 102 Section 102-31(A) regarding the Official Zoning Map:**

**Sec. 102-31. - Zoning map.**

(a) Designated; rezoning of property. Exhibit A attached to Ordinance No. 521 is hereby adopted as the Official Zoning Map of the Town of Westlake and shall be identified and maintained by the town in accordance with the provisions of this chapter, as amended from time to time. The Official Zoning Map incorporates the rezoning of properties in the town to conform with the Comprehensive Plan and this chapter.

**2. Proposed language to amend Chapter 102 Section 102-31(A) regarding the Official Zoning Map:**

**Section 102-31. - Zoning Map.**

(a) “*Designated; rezoning of property.*” (1) The boundaries of the zoning district set out herein are delineated upon a zoning district map of the town; duly adopted by the Town Council and adopted as part of this chapter as fully as if the same were set forth herein in detail.

(1) One original of the official zoning district map shall be filed in the office of the town secretary. This map shall be the official zoning district map and shall bear the signature of the mayor and attestation of the town secretary. In case of any question, this map, together with any amending ordinances, shall be controlling.

(2) A copy of the zoning district may also be placed in the office of the town planner. The copy may be used for reference and if so used, shall be maintained up-to-date by posting thereon all subsequent amendments. Reproductions for informational purposes may be made of the official zoning district map.

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE OF THE TOWN OF WESTLAKE, TEXAS, AMENDING CHAPTER 102 “ZONING,” OF THE CODE OF ORDINANCES OF THE TOWN OF WESTLAKE, TEXAS BY AMENDING CHAPTER 102, SECTION 102-31(A) “ZONING MAP”; PROVIDING FOR INTERPRETATION, PURPOSE AND CONFLICT; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY CLAUSE; AND MAKING AN EFFECTIVE DATE.**

**WHEREAS**, the Town of Westlake, Texas is a general law Town; and

**WHEREAS**, all legal requirements of state statutes and Town ordinances of the Town of Westlake, as well as all legal requirements and legal notices and prerequisites having been complied with; and

**WHEREAS**, the Town Council of the Town of Westlake, Texas, at a public hearing called at a regular session of the Town Council did consider the following factors in making a determination as to whether the requested change should be granted or denied: congestion in the streets, including safety of the motoring public and the pedestrians using the facilities in the area; to secure safety from fire, panic or other dangers; the promotion of health and the general welfare, to provide for adequate light and air, to prevent the overcrowding of land; to avoid undue concentration of the population, facilitating the adequate provision of transportation, water, sewers, schools, parks, and other public requirements; and

**WHEREAS**, upon the recommendation of the Planning & Zoning Commission, the Town Council of the Town of Westlake, Texas is of the opinion that it is in the best interest of the town and its citizens that the amendments should be approved and adopted.

**NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF WESTLAKE, TEXAS:**

**SECTION 1:** That all matters stated in the preamble are found to be true and correct and are incorporated herein as if copied in their entirety.

**SECTION 2:** That Section 102-31 “Zoning Map” subsection (a) “*Designated; rezoning of property.*” is hereby amended by deleting the current subsection 102-31(a) and replacing it with the following:

Section 102-31 Zoning Map. (a) “*Designated; rezoning of property.*” (1) The boundaries of the zoning district set out herein are delineated upon a zoning district map of the Town; duly adopted by the Town Council and adopted as part of this chapter as fully as if the same were set forth herein in detail.

(1) One original of the official zoning district map shall be filed in the office of the Town Secretary. This map shall be the official zoning district map and shall bear the signature of the mayor and attestation of the Town Secretary. In case of any question, this map, together with any amending ordinances, shall be controlling.

(2) A copy of the zoning district may also be placed in the office of the town

planner. The copy may be used for reference and if so used, shall be maintained up-to-date by posting thereon all subsequent amendments. Reproductions for informational purposes may be made of the official zoning district map.

**SECTION 3:** That this Ordinance shall be cumulative of all other Town Ordinances and all other provisions of other Ordinances adopted by the Town which are inconsistent with the terms or provisions of this Ordinance are hereby repealed.

**SECTION 4:** That any person, firm or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Code of Ordinances of the Town of Westlake, and upon conviction shall be punishable by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) or Five Hundred (\$500.00) for each offense. Each day that a violation is permitted to exist shall constitute a separate offense.

**SECTION 5:** It is hereby declared to be the intention of the Town Council of the Town of Westlake, Texas, that sections, paragraphs, clauses and phrases of this Ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this Ordinance shall be declared legally invalid or unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such legal invalidity or unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs or sections of this Ordinance since the same would have been enacted by the Town Council of the Town of Westlake without the incorporation in this Ordinance of any such legally invalid or unconstitutional, phrase, sentence, paragraph or section.

**SECTION 7:** This ordinance shall take effect immediately from and after its passage as the law in such case provides.

**PASSED AND APPROVED ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2016.**

ATTEST:

\_\_\_\_\_  
Laura Wheat, Mayor

\_\_\_\_\_  
Kelly Edwards, Town Secretary

\_\_\_\_\_  
Thomas E. Brymer, Town Manager

APPROVED AS TO FORM:

\_\_\_\_\_  
L. Stanton Lowry, Town Attorney



# estlake Planning and Zoning Commission



## TYPE OF ACTION

Regular Meeting - Action Item

**Monday, February 15, 2016**

**TOPIC:** Conduct a Public Hearing and Consider a Recommendation Regarding a Zoning Change Request to Amend “Planning Area 5,” a Portion of Planned Development District 3 (PD 3-5), Located along State Highway 170 and State Highway 114, by Dividing Said Planning Area into Two (2) New Planning Areas to be Known as PD 3-5A and PD 3-5B and Establishing Development Regulations, Permitted Uses, and Allowable Densities for Both Planning Areas. Additionally, 336,000 square feet of allowed density will be transferred from PD 3-3 to the PD 3-5 Planning area.

**STAFF CONTACT:** Eddie Edwards, Director of Planning and Development

## Strategic Alignment

<u>Vision, Value, Mission</u>	<u>Perspective</u>	<u>Strategic Theme &amp; Results</u>	<u>Outcome Objective</u>
Mission: Westlake is a unique community blending preservation of our natural environment and viewsapes, while serving our residents and businesses with superior municipal and academic services that are accessible, efficient, cost-effective, & transparent.	Citizen, Student & Stakeholder	High Quality Planning, Design & Development - We are a desirable well planned, high-quality community that is distinguished by exemplary design standards.	Preserve Desirability & Quality of Life
<b><u>Strategic Initiative</u></b>			
Outside the Scope of Identified Strategic Initiatives			

**Time Line - Start Date:** February 15, 2016 **Completion Date:** February 22, 2016

**Funding Amount:** 00.00 **Status -**  **Not Funded** **Source -** N/A

## **EXECUTIVE SUMMARY**

This is an application by the property owner, Hillwood Properties, to amend the zoning of the Planning Area 5 portion of Planned Development District 3 (PD3-5), a 153 acre (+/-) tract located at the intersection of SH170 and SH114 on the Circle T Ranch. The owner and applicant are requesting that PD 3-5 be amended as follows:

1. Divide the PD 3-5 Planning Area to create two (2) separate Planning Areas, to be identified as PD 3-5A and PD 3-5B. Existing allowable building square footages to be divided between the two areas.
2. Increase maximum allowable building square footages for both proposed Planning Areas while reducing the maximum allowable building square footage in PD 3-3 by an equal amount. **The proposed amendment does not change the aggregate maximum allowable building square footage in Planned Development District 3.**
3. Amend the maximum allowable building heights for the PD 3-5A and PD 3-5B Planning Areas
4. Amend the Development Standards for the PD 3-5A and PD 3-5B Planning Areas

The property owner has filed this request as part of Project Blizzard, which involves the construction of a major corporate office campus for the Charles Schwab financial services firm on the proposed PD 3-5B tract, as well as a mixed used development including office, retail, hotel, and residential components on the proposed PD 3-5A tract (see attached location map). Staff recommends that, if approved, this zoning request be implemented by three separate ordinances.

### **The ordinance creating PD 3-5A would:**

1. Establish the boundaries of the new Planning Area
2. Establish new limits on allowable square footage for permitted uses
3. Establish new limitations on building heights
4. Amend existing Mixed-Use development regulations/standards

### **The ordinance creating PD 3-5B would:**

1. Establish the boundaries of the new Planning Area
2. Establish allowable square footage for permitted uses
3. Eliminate all residential uses and mixed-use development standards
4. Specify maximum allowable building heights
5. Authorize signage regulations specific to the PD 3-5B Planning Area

Note that permitted uses in this proposed Planning Area are identical to existing permitted uses in PD 3-5, with the exception of number 2 listed above.

### **The ordinance modifying PD 3-3 would:**

1. Reduce the maximum allowable building square footage by an amount equal to the increase in maximum allowable building square footage in PD 3-5A and PD 3-5B.

Note that existing zoning entitlements contained in PD 3-5 include office and various retail/commercial uses, as well as 275 residential dwelling units (i.e. single family attached, detached, and zero lot lines, examples- townhomes, garden homes; see below). **This zoning amendment request does not change or modify existing residential entitlements, except to the extent that residential uses and mixed-use development standards are restricted to the PD 3-5A Planning Area.**

### **ORGANIZATIONAL HISTORY**

Ordinance 307, approved on September 14, 1998 established Zoning District 3, otherwise known as Planned Development 3 (PD 3). Ordinance 311, also approved on September 14, 1998, established the PD 3-5 sub-area (also referred to as Planning Area 3-5). PD 3-5 was approximately 200 acres and originally zoned for Mall, Entertainment Retail, Entertainment Office, Office, and Retail Uses.

**Ordinance 452**, approved March 22, 2004, adjusted the boundaries of PD 3-5 from 200 acres to 153.3 acres and established the current Permitted Uses and Development Regulations. Existing entitlements are summarized below:

Category	Minimum Lot Size [SF]	Minimum Building Size (SF)	Density	Building Area (SF)
Office	100,000	5,000	The maximum aggregate floor area for <u>commercial and institutional uses outside of a Mixed Use Development Area</u> in this PD District is 884,505 square feet.	884,505
Mixed-Use	N/A	5,000	The maximum aggregate floor area for all uses <u>within</u> a Mixed use Development Area in this PD District is 1,305,060.	1,305,060
SFR Attached/Detached (within the Mixed Use Area)	5,000 min. for detached; no min. for attached	1,500	275 Unit Limit	N/A

Note that the Mixed-Use designation in Ordinance 452 includes retail, hotel, restaurant, office, and other uses that one might expect in a mixed-use development. Further detail regarding existing entitlements is shown in attached Ordinance 452.

### **RECOMMENDATION**

Staff recommends approval of this zoning change application as detailed in the attached Staff Report.

## **ATTACHMENTS**

1. Site Location Map - will be provided under separate cover.
2. Ordinance 452, which established current zoning entitlements and development regulations  
Will be provided under separate cover.
3. Staff Report



## TOWN OF WESTLAKE, TX

### STAFF REPORT TO PLANNING AND ZONING COMMISSION

**Date:** 2/15/16

**Request:** Review and Recommendation of a Zoning Change Request.

**Agenda Item:** Conduct a Public Hearing and Consider a Recommendation Regarding a Zoning Change Request to Amend "Planning Area 5," a Portion of Planned Development District 3 (PD 3-5), Located along State Highway 170 and State Highway 114, by Dividing Said Planning Area into Two (2) New Planning Areas to be Known as PD 3-5A and PD 3-5B and Establishing Development Regulations, Permitted Uses, and Allowable Densities for Both Planning Areas.

#### CASE INFORMATION

**Development Name:** Project Blizzard

**Location:** This property is generally located at the intersection of State Highway 170 and State Highway 114, part of the Circle T Ranch.

**Owner:** Hillwood Properties

**Applicant:** Joe Schneider, Vice President, Hillwood Properties

**Developer:** Hillwood Properties

**Site Size:** 153 (+/-) acres

**Permitted Use(s):** Existing uses include Mixed-Use, Office, and Residential Uses. See Ordinance 452 (attached) for a complete listing.

**Summary:** This is an application by the property owner, Hillwood Properties, to amend the zoning of the Planning Area 5 portion of Planned Development District 3 (PD3-5), a 153 acre (+/-) tract located at the intersection of SH170 and SH114 on the Circle T Ranch. The owner and applicant are requesting that PD 3-5 be amended as follows:

1. Divide the PD 3-5 Planning Area to create two (2) separate Planning Areas, to be identified as PD 3-5A and PD 3-5B. Existing allowable building square footages to be divided between the two areas.
2. Increase maximum allowable building square footages for both proposed Planning Areas while reducing the maximum allowable building square footage in PD 3-3 by an equal amount. **The proposed amendment does not change the aggregate maximum allowable building square footage in Planned Development District 3.**
3. Amend the maximum allowable building heights for the PD 3-5A and PD 3-5B Planning Areas
4. Amend the Development Standards for the PD 3-5A and PD 3-5B Planning Areas

The property owner has filed this Zoning Change Request request as part of Project Blizzard, which involves the construction of a major corporate office campus for the Charles Schwab financial services firm on the proposed PD 3-5B tract, as well as a mixed used development

including office, retail, hotel, and residential components on the proposed PD 3-5A tract (see attached location map).

### I. COMPARISON OF PROPOSED AND EXISTING DEVELOPMENT REGULATIONS

### II. ALIGNMENT WITH COMPREHENSIVE PLAN

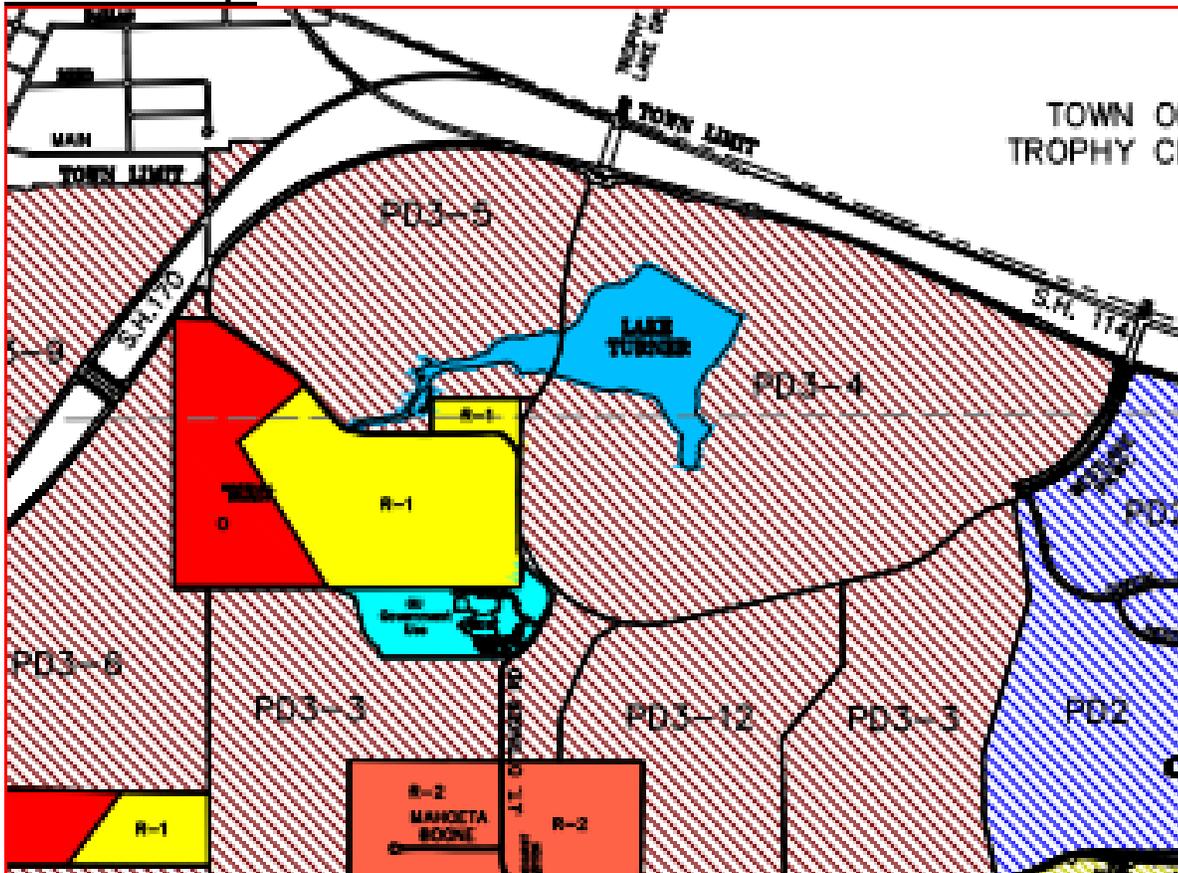
**Land Use and Development Square Footage:** The additional square footage transferred from PD 3-3 to PD 3-5 is generally consistent with the intent and recommendations of the Comprehensive Plan Elements. It is recommended and encouraged that future transfer of non-residential square footage be taken from PD3-3.

**Building Height:** The height additions requested are generally consistent with the intent and recommendations of the Comprehensive Plan elements.

### III. STAFF RECOMMENDATIONS

Staff recommends approval of the proposed ordinances.

#### Location map.





# Westlake Planning and Zoning Commission



## TYPE OF ACTION

Regular Meeting - Action Item

**Monday, January 04, 2016**

**TOPIC:** Conduct a Public Hearing and Consider a Recommendation of a Planned Development Zoning District (PD) Site Plan for the “Planning Area 2” portion of Planned Development District 1 (PD 1-2), Established by Ordinance 703 for the Property Generally Located on the South Side of State Highway 114, East of Davis Boulevard and North of Solana Boulevard.

**STAFF CONTACT:** Eddie Edwards, Director of Planning and Development

## Strategic Alignment

<u>Vision, Value, Mission</u>	<u>Perspective</u>	<u>Strategic Theme &amp; Results</u>	<u>Outcome Objective</u>
Mission: Westlake is a unique community blending preservation of our natural environment and viewscales, while serving our residents and businesses with superior municipal and academic services that are accessible, efficient, cost-effective, & transparent.	Citizen, Student & Stakeholder	High Quality Planning, Design & Development - We are a desirable well planned, high-quality community that is distinguished by exemplary design standards.	Preserve Desirability & Quality of Life
<b><u>Strategic Initiative</u></b>			
Outside the Scope of Identified Strategic Initiatives			

**Time Line - Start Date:** February 15, 2016 **Completion Date:** February 22, 2016

**Funding Amount:** 00.00 **Status -**  **Not Funded** **Source -** N/A

## EXECUTIVE SUMMARY (INCLUDING APPLICABLE ORGANIZATIONAL HISTORY)

The subject PD Site Plan is generally located at the northwest corner of the 85-acre Entrada development, near the intersection of FM 1938/Davis Boulevard and State Highway 114. This Davis-114 Retail Corner will feature a 1,900 square foot Starbucks restaurant with a drive-through lane, a 3,300 square foot sales center, 7,328 square feet of office space, 17,320 square feet of retail space, and 1,300 square feet of additional restaurant space. The Site Plan follows

Entrada's overall design theme which strives to capture the architecture, livability, scale, and essential visual qualities of the Spanish-Catalonian village archetype.

A PD Site Plan is required as a condition of the Planned Development zoning for this property. The PD Site Plan approval process gives the Planning and Zoning Commission, as well as the Town Council, the ability to approve or deny a plan based on quantitative criteria as well as the qualitative criteria contained within the PD zoning for this property. The PD1-2 zoning ordinance gives the Developer a great deal of latitude with regards to lot layout and design and encourages the Developer to be creative and build a unique development. It also gives the Town opportunities to verify that the proposed development will reflect what was presented by the Developer during the zoning change application process and agreed to by all when the zoning (Ord. 703) and subsequent Development Plan (Ord. 720) were originally approved. Staff and our consulting architect have spent many hours reviewing this site plan and related elevations against a comprehensive set of criteria described in the attached Staff Report.

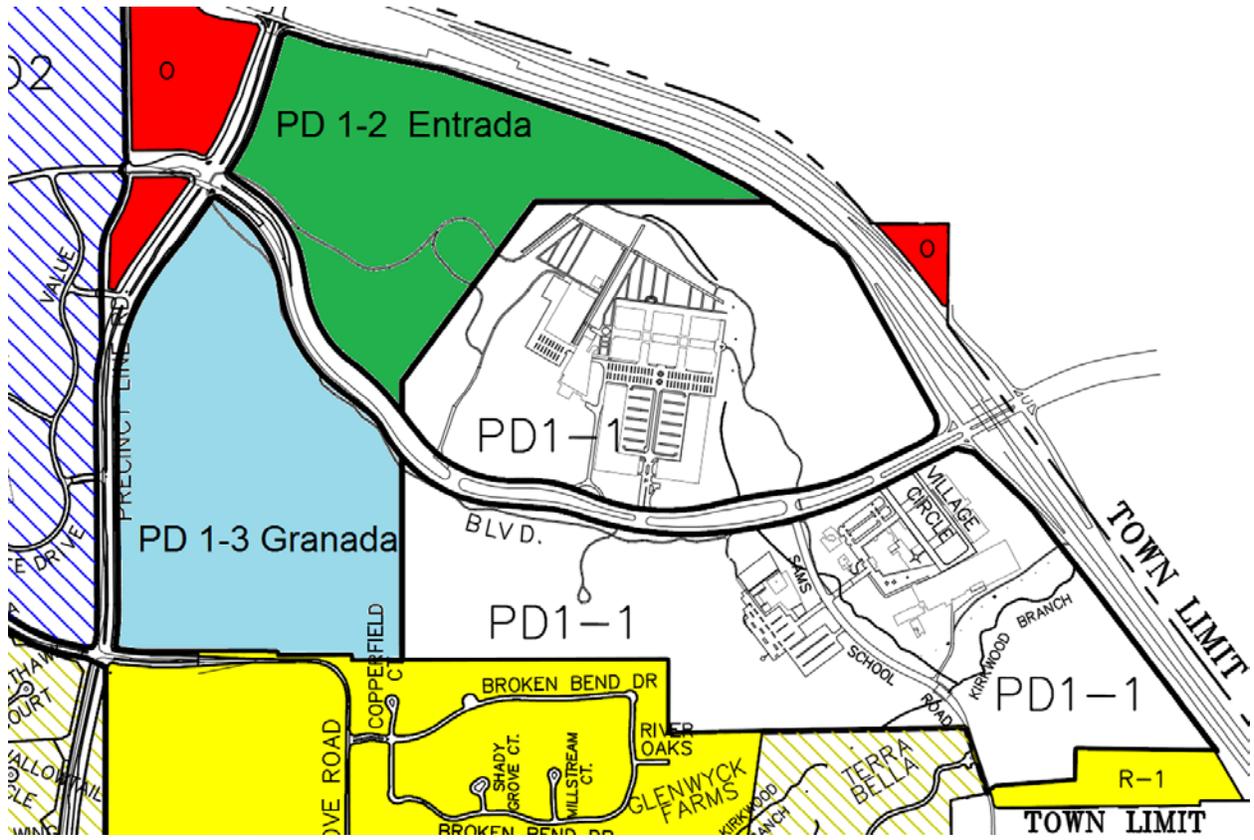
### **RECOMMENDATION**

Staff recommends approval of this PD Site Plan, subject to the conditions provided in the attached Staff Report.

### **ATTACHMENTS**

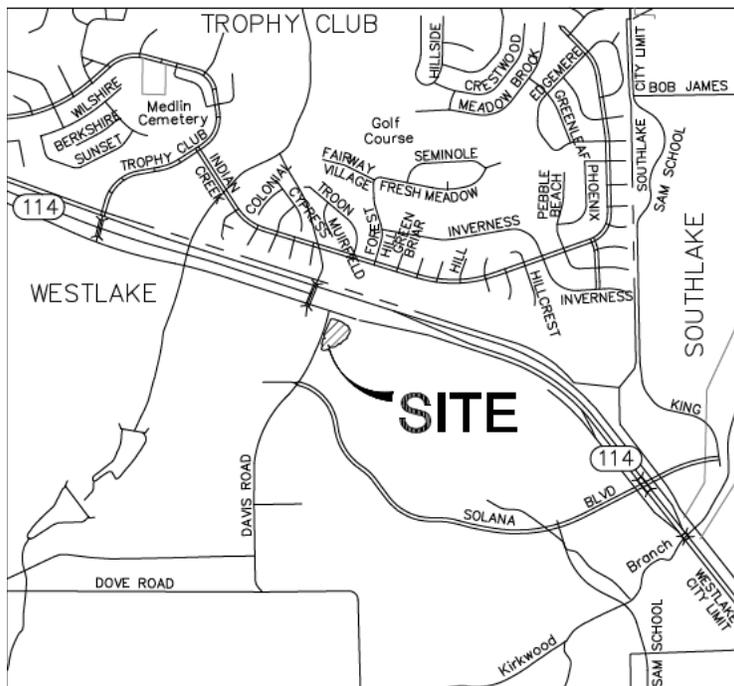
1. Existing PD Location Map and PD 1-2 Vicinity Map
2. Staff Report
3. PD Site Plan Submittal
4. Enlarged Building and Site Renderings
5. Entrada Development Plan

# EXISTING PD LOCATION MAP



# PLANNING AREA 1-2 VICINITY MAP AND PROPOSED LAYOUT

Case SP-12-14-15  
PD Site Plan





## TOWN OF WESTLAKE, TX

### STAFF REPORT TO PLANNING AND ZONING COMMISSION

**Date:** 2/15/16

**Request:** Review and Recommendation of a Planned Development (PD) Site Plan

**Agenda Item:** Conduct a Public Hearing and Consider a Recommendation of a Planned Development Zoning District (PD) Site Plan for the "Planning Area 2" portion of Planned Development District 1 (PD 1-2), established by Ordinance 703 for the property generally located on the south side of State Highway 114, east of Davis Boulevard and north of Solana Boulevard.

#### CASE INFORMATION

**Development Name:** Davis-114 Retail Corner, Entrada

**Location:** The property is generally located at the northwest corner of the 85-acre Entrada development, near the intersection of FM 1938/Davis Boulevard and State Highway 114.

**Owner:** Maguire Partners-Solana Land, LP (Mehrdad Moayedi, Centurion American)

**Applicant:** Michael Beaty, Entrada Project Manager

**Developer:** Centurion American Development Group

**Site Size:** 2.175 acres shown as Block A, Lot 1 and Block O, Lots 1 and 2 on the Entrada Final Plat.

**Approved Use(s):** The subject PD Site plan shows office, retail, and restaurant uses, which are permitted under Entrada's zoning as set out in Ordinance 703.

**Summary:** This PD Site Plan, like the CVS and Primrose Site Plans approved in December, is a component of the Entrada mixed-use development. This Davis-114 Retail Corner will feature a 1,900 square foot Starbucks restaurant with a drive-through lane, a 3,300 square foot sales center, 7,328 square feet of office space, 17,320 square feet of retail space, and 1,300 square feet of additional restaurant space. The Site Plan follows Entrada's overall design theme which strives to capture the architecture, livability, scale, and essential visual qualities of the Spanish-Catalonian village archetype.

The purposes of a PD Site Plan are to ensure that the development of individual building lots, parcels, or tracts within the Planned Development Zoning District or Planning Area are consistent with the approved Concept Plan and Development Plan, and to ensure that the standards applicable within the Planned Development Zoning District and/or Planning Area are met for each such lot, parcel or tract. The following sections detail the requirements that must be considered when evaluating this PD Site Plan, the architectural challenges associated with this submittal, and staff recommendations.

Note that this PD Site Plan replaces the PD Site Plan created by Ordinance 721. This obsolete Site Plan, approved October 28, 2013, applied only to a portion of what is now Block A in the Entrada Final Plat, and was intended to allow for the construction of a sales office. The site never went beyond the PD Site Plan stage. As Entrada's architecture, landscaping, and built

environment evolved, it became preferable to fully integrate the sales office building and surrounds into the Retail Corner Site Plan to ensure architectural continuity and aesthetic flow.

## **I. ZONING RELATED REQUIREMENTS APPLICABLE TO THIS PD SITE PLAN**

Ordinance 703, which established the zoning requirements and development regulations for the PD1-2 Planning Area, applies to this site plan. The uses shown on the PD Site Plan, including restaurant, office, and retail uses, are permitted by right under this district's zoning as shown on the Land Use Schedule included in Ordinance 703. Permitted and Special Uses for this district are quite broad in order to allow for a mixed-use planned development styled after a Spanish-Catalonian village. Permitted and Special Uses include office, governmental, retail, restaurants, hotels, as well as residential uses (single family residential detached, and villas or townhomes). Ordinance No. 703 also imposes certain requirements on building materials, roofing materials, and the pace of development of residential to commercial structures. Also included in the zoning regulations which govern development in this Planning Area are:

- Development Standards for Planning Area 2, PD1-2 (Art. III, Ord. 703)
- Design Guidelines for Planning Area 2, PD1-2 (Exhibit "4", Ord. 703)
- Roadway Design Standards for Planning Area 2, PD1-2 (Exhibit "5", Ord. 703)
- Concept Plan for Planning Area 2, PD1-2 (Exhibit "2", Ord. 703)

In addition, at the time of the adoption of Ordinance No. 703 setting the zoning for PD1-2, the following Staff recommendations were adopted by Council that apply to this site plan:

- Dedication of water and sewer easements for public lines. All on-site and off-site water and sewer improvements necessary to serve the development are the developer's responsibility.
- The developer shall pay, via a development agreement, a pro-rata share of the costs for signalization, per a traffic impact study approved by the Town, of the intersection at Davis Blvd. and Solana Blvd or any other intersections near or on this development.
- A detailed landscape plan and parking plan must be submitted with the Site Plans.
- A detailed streetscaping plan shall be submitted showing how it will be integrating and transitioning well in terms of aesthetics with the development at the southeast corner of FM 1938 and Solana Boulevard.
- Sidewalks and trails internal to the site will need to connect by access points to sidewalks, trails, or public rights-of-way on the perimeter of the site as well as to sidewalks or trails on adjacent tracts.

## **II. RELATION OF PD SITE PLAN TO APPROVED ENTRADA DEVELOPMENT PLAN**

The Town required the Developer to prepare a more detailed instrument, known as a Development Plan, for the entire 85-acre Entrada tract prior to any PD Site Plan submittals. PD Site Plans must comport with the approved Development Plan (unless the Development Plan is amended with the approval of the Town). In effect the Development Plan becomes a master site plan, meaning that all the site plans for all portions of the site must fit within the template created

by the Development Plan, with allowance for minor changes in configuration if said changes are considered beneficial by Town staff and consulting architects.

The Development Plan for Entrada, as recommended by the Planning & Zoning Commission and adopted by the Council in Ordinance 720, has several attached conditions for approval. Relevant to the subject PD Site Plan are the following additional conditions:

- When the tract is site planned, both the southeast corner of FM 1938 (Davis) and Solana Boulevard and the northeast corner of FM 1938 (Davis) and SH114 must include strong design public design elements that tie those corners to the intent of the design standards and guidelines for this tract. Site plans for these corners shall minimize surface parking from being the main visual feature at these hard corners (note: requiring some berming when these locations are site planned may help with this). This includes incorporating design features from the Town's FM 1938 Streetscape plan on the side of the subject tract that abuts FM 1938. Also, a 3-4 foot stone wall that fits with the site's design standards and guidelines shall be required around the perimeter of the site on Solana Boulevard and FM 1938.
- Show on the Development Plan the type of Town Edge landscaping that will be utilized along the SH114 side of the tract. Also show where along this Town Edge landscape zone the landscaping will consist of trees and when other treatments such as vineyards, as proposed by the developer, will be used.
- Approve use of Italian Cypress trees on the tract as the predominant tree of choice for the landscaping.
- All site plans submitted subsequent to approval of this Development Plan shall comport to all the design standards and guidelines as set out Ordinance No. 703.
- A lighting plan must be submitted for this Development Plan that meets the requirements of the Section 14 of the zoning ordinance for this site (Ordinance No. 703) as well as Chapter 102 of the Town's Code of Ordinances. This plan should emphasize use of bollard lights along trails, plazas, and gathering areas. It should also emphasize shielded low intensity down lighting for parking lots and intersections.
- A Master Landscape Plan for all common areas, right-of-ways, public and private open spaces, and Town Edge Landscape zones must be submitted along with the next Site Plan and before any buildings permits are issued, other than the Site Plan and building permit for the Sales Office.

### **III. RESIDENTIAL TO NON-RESIDENTIAL DEVELOPMENT RATIOS**

Ordinance 703 established ratios of residential to non-residential construction to prevent uneven development and ensure that residential uses are not prioritized over retail, office, or other uses. The pace of residential development within PD 1-2 is as follows:

- First Year of Active Development: Developer is entitled to ten (10) residential units initially. After the initial ten (10) units, Developer is entitled to units eleven (11) through (30) after 45,000 non-residential air conditioned square footage is permitted. "First year of active development" is defined as beginning on the date of the issuance of the first vertical building permit for PD Planning Area 2 (PD 1 -2).

- Second year of active development shall not exceed an additional sixty (60) residential units. Third year of active development shall not exceed and additional eighty (80) residential units. Year four of active development and subsequent will be based upon the 1500:1 ratio. From Residential Unit 31 forward, Developer must demonstrate to the Westlake Building Official that the 45,000 air-conditioned square feet of non-residential building space is substantially completed, and that for Residential Unit 31 forward, Developer must also demonstrate to the Westlake Building Official that a ratio of 1,500 sq. ft. of non-residential use building space has been permitted for each additional Residential Unit permitted.
- Developer is to maintain a database illustrating conformance to this requirement to the Westlake Building Official and include an up-to-date report with each new Residential Unit building permit application. Non-residential use buildings must be substantially outwardly completed within six-months of being included in the 1500:1 ratio, which is 1500 square feet of non-residential to each Residential Unit calculations.

The following table lists non-residential buildings and their associated square footage approved via the PD Site Plan process for the Entrada development to date, plus the buildings and square footage included in the subject PD Site Plan:

<b>Building</b>	<b>Use</b>	<b>SF</b>
CVS	Retail	12,900
<b>CVS SF Subtotal</b>		<b>12,900</b>
Primrose	Institutional	12,070
<b>Primrose SF Subtotal</b>		<b>12,070</b>
Starbucks	Restaurant	1,900
Sales Center	Office	3,300
Retail 1	Restaurant	1,300
Office/Retail	Office	7,328
Office/Retail	Retail	17,320
<b>Davis-114 Retail Corner SF Subtotal</b>		<b>31,148</b>
<b>Grand Total</b>		<b>56,118</b>

Including the Davis-114 Retail Corner square footage, up to 30 residential units may be permitted this calendar year, assuming all of the buildings listed above are permitted within the year (i.e. construction drawings are approved and a building permit is issued). Note that in addition to meeting residential to non-residential ratio requirements, all residential units must go through the PD Site Plan process and permitting process before construction can begin. The developer currently has three residential PD Site Plans in the pre-submittal stage, with each Site Plan containing six houses.

**IV. ARCHITECTURAL REQUIREMENTS & CHALLENGES SPECIFIC TO THIS PD SITE PLAN**

The Town is provided strong aesthetic/architectural controls via design guidelines in the zoning regulations that apply specifically to this Planning Area. The guidelines go into great detail, covering architectural requirements, construction methods, aesthetics, and allowed/prohibited materials for everything from window sills to retaining walls to exterior door hardware. These

design guidelines are the most powerful tool that the Town has to ensure that the Entrada development is built to the high standards discussed, represented, and agreed to by the Developer during the zoning process. The Town receives this control while providing the Developer zoning entitlements (i.e. uses) that grant the Developer great latitude and flexibility in permitted and special uses, as well as dimensional setbacks and no building FAR (floor to area ratio) density requirements.

For Entrada, the Davis-114 corner presents the first look at, and establishes the first impression of, the Catalonian Village concept rendered as a contemporary mixed use development. Therefore, this corner location is singularly important to the marketing success of this project. Historically, the comprehension of the village (in the medieval European village setting) was sequentially understood. In other words, one moved toward the village from the hinterlands, passing the agricultural edges, then perhaps some fortified element, then along narrow streets, and then arrived at the place of the cathedral/ plaza from which the fabric of village emanated. However, Highway 114 and Davis Boulevard do not afford that same sequential experience and consequently the comprehension of village must be gathered in a moment of recognition. This moment is encountered at the Davis-114 corner. Without the experiential “lead-up” the image presented must be particularly complete and convincing. Such importance demanded of the planning and design at this location is met with numerous challenges, such as:

- **Scale:** This is not the place for any “Big Box” retail elements (typical of most suburban development) because “Scale” is one of the most important “colors” in our pallet with which to paint the Catalonian vision. In order for the assemblage of structures to be organic, the scale must be conducive to creating the kind of form complexities that an organic assemblage would produce. Scale is important to giving the appearance of process-over-time – the complex look that evolves over many years of building one thing next to, or on top of, what already exists. Therefore, in order to replicate this kind of complex form, the elements of composition must be small enough to render such complexity. The Davis-114 corner is comprised of small retailers and smaller, narrower buildings wherever possible.
- **Internalizing Topography to the Architecture:** Most retail development seeks to level a site so that building plates have no offsets. This is preferred by most retailers and increases the convenience of parking. Most of the Catalonian Villages are in “hilly” locations, and accommodation of topographic change is often handled as a component of the buildings constructed. This creates a vertical complexity to the village fabric as well as the horizontal complexity described above. Therefore, it is important that the rolling topography at the Davis-114 corner be handled in ways that are evocative of this important aspect of the Catalonian Village fabric. Winding drives climb grade alongside the base of buildings and arrive at parking places nestled between structures.
- **Creating a Landmark Icon:** Some of the sense of sequence described above can be achieved while traveling along regional roadways if Entrada had a landmark element that defined, and guided one to, the Davis-114 point of recognition. Therefore, the retail corner presents a 110-foot tower (with decorative top) that has form-giving influence upon the retail assemblage within which it sits. In this way the tower is not just an element apart from development, it organizes the fabric of what is around it, thereby giving it an authenticity which fulfills one’s expectation upon arrival. In addition, visitors to the retail corner interact with the Tower as the Starbucks drive-through passes beneath it.
- **Combining the spatial accommodations of automobiles and emergency access with the spatial character of a Catalonian Village:** The needs of contemporary vehicles,

contemporary services, and contemporary emergency equipment tend to greatly expand the space between buildings. This challenges the more intimate definition of space needed to enhance the pedestrian experience and convey the sense of village. Creating smaller stand-alone building(s) to break up spatial expanse, complex perimeter edge configuration, ruin remnants (such as remnant walls), subordinate building masses that project out from the primary structures, and obscuring the traditional definition of drive and parking stall all serve to transform an automobile dominated ground plane into something more interesting, complex, and village like.

- **External architectural expression of internal property lines, demising walls, and other internal subdivisions:** In a lease driven and fee simple driven economic setting, lines are created that the Catalonian Village did not respond to. These lines and subdivisions can create architectural expressions that move away from the desired organic assemblage to a more “row house” or “multi-tenant” segmentation. To overcome this tendency, the architects had to take every opportunity to “overlay” rather than “abut” building elements. The architects had to create minor and subordinate forms that mitigated external expression of these separations.
- **Construction Details:** The biggest challenge to all of Entrada is creating construction details that will make contemporary veneer frame construction have the visual qualities of load bearing masonry construction. The execution of cornice details is most critical. Guidelines created for this project describe how traditional veneer construction is to be handled so that it has a more load bearing appearance.

Addressing each of these challenges has led to a project design that is both a serviceable retail development and the essence of the Catalonian Village fabric.

To arrive at the final rendition of the Davis-114 Retail Corner submittal, the Town went through a design review and revision process that included several steps:

1. Town staff, consulting architects and engineers receive, review, and comment on first Davis-114 Retail Corner submittal. Comments identify the ways in which the submitted design falls short of the Catalonian Archetype and provide recommendations for improvement.
2. Town consulting architect meets with Merriman Associates Architects, who are leading the design process from the developer side, to review the comments provided by Town and sketch ways in which these comments can be reasonably addressed.
3. Merriman provides a revised PD Site Plan incorporating staff recommended changes. Town staff and consultants review and provide additional comments.
4. Merriman makes final revisions and submits to Town for review. At this stage any remaining comments should be easily addressed and minor in nature.
5. The final PD Site Plan Submittal is delivered to the Town for inclusion in Planning and Zoning Commission and Town Council agenda packets.

As this process is repeated, it is anticipated that the design review process should get progressively more efficient as Merriman gains a greater appreciation of what the Town is looking to create and built structures begin to serve as reference points.

While PD Site Plans are an important element of the design and quality control process, they are not a final approval for construction. Note that:

- 1) PD Site Plans are recommended for approval based on a determination that the plans reflect general compliance with the approved PD Concept Plan, PD Development Plan, Master Landscape Plan, Design Guidelines, and other PD ordinance regulations. The individual building elevations are approved conceptually, subject to compliance with PD Design Guidelines to be shown in detail on construction plans that are to be submitted when applying for a building permit.
- 2) Construction Drawings submitted along with an application for a Building Permit will be reviewed for detailed compliance with Design Guidelines and compliance with the approved PD Site Plan as well as other PD ordinance regulations, the Code of Ordinances, the UDC, and the International Code Council (ICC) construction codes.

## V. STAFF RECOMMENDATION

Staff recommends approval of the Davis-114 Retail Corner PD Site Plan subject to the following conditions:

1. Fulfillment of all zoning requirements as set out in Ordinance 703 in addition to the conditions accepted by the Town Council at the time of zoning approval (April 22, 2013).
2. All the Development Plan conditions for approval established in Ordinance 720 (adopted October 28, 2013) apply to this PD Site Plan.
3. All building elevations shown on this PD Site Plan include the requirement that structures meet all aspects of the Entrada Design Guidelines established in Ordinance 703 and Ordinance 760.
4. Town Staff will review and approve a materials sample palette that shall be presented at the time building plans are submitted for review and said materials must comport to elevations as presented to the Staff and the Planning & Zoning Commission.
5. Landscaping and planters shown on PD Site Plan drawings submitted by the Developer's master architect, Merriman and Associates, be of substantial size, as shown on said drawings, including six (6) inch caliber Italian Cypress in the planters.
6. Solid waste collection area(s) will reflect a "shepherd's hut" type architecture and will be approved by Staff at the time of building permit application.
7. The following statements shall be added to the PD Site Plan to clarify the scope of Site Plan approval:
  - 1) PD Site Plans are recommended for approval based on a determination that the plans reflect general compliance with the approved PD Concept Plan, PD Development Plan, Master Landscape Plan, Design Guidelines, and other PD ordinance regulations. The individual building elevations are approved conceptually, subject to compliance with PD Design Guidelines to be shown in detail on construction plans that are to be submitted when applying for a building permit.
  - 2) Construction Drawings submitted along with an application for a Building Permit will be reviewed for detailed compliance with Design Guidelines and compliance with the

approved PD Site Plan as well as other PD ordinance regulations, the Code of Ordinances, the UDC, and the International Code Council (ICC) construction codes.

- 3) The individual lots shown on this PD Site Plan are approved conceptually, and must be reflected on an approved amended Final Plat prior to the issuance of any building permits for vertical construction for the areas shown as Block A and Block O on the Entrada Final Plat.

# TOWN OF WESTLAKE, TARRANT COUNTY, TEXAS

## WESTLAKE ENTRADA

### PD SITE PLAN PACKAGE FOR LOTS 1, 2, 3, BLOCK A LOT 1, BLOCK O - DAVIS/114 CORNER

FEBRUARY 2016



VICINITY MAP  
(NOT TO SCALE)



#### SHEET INDEX

No.	Sheet Title
C1	COVER SHEET
C2	KEY MAP
C3	SITE PLAN
A1-A12	ARCHITECTURAL PLANS
L1	LANDSCAPE PLAN & DETAILS
C4	GENERAL NOTES
C5	PAVING PLAN
C6	PROPOSED DRAINAGE AREA MAP
C7	GRADING PLAN
C8	WATER, STORM, DUCTBANK & SEWER PLAN
C9	EROSION CONTROL PLAN
C10	LIGHTING & PHOTOMETRIC PLAN
C11	LIGHTING DETAILS



DEVELOPER:

CENTURION AMERICAN  
1800 VALLEY VIEW LANE, SUITE 300  
FARMERS BRANCH, TEXAS 75234



DEVELOPER:

The Mooreland Funds  
Mooreland Development  
1800 VALLEY VIEW LANE, SUITE 300  
FARMERS BRANCH, TEXAS 75234  
TEL: 214.287.9009  
CONTACT: MIKE BEATY



TOWN OF WESTLAKE

3 VILLAGE CIRCLE  
SUITE 202  
WESTLAKE TEXAS 76262  
TEL: 817-430-0941



**Brown & Gay Engineers, Inc.**

2595 Dallas Parkway, Suite 204  
Frisco, TX 75034  
Tel: 972-464-4800 • www.browngay.com  
TBPE Registration No. F-1046

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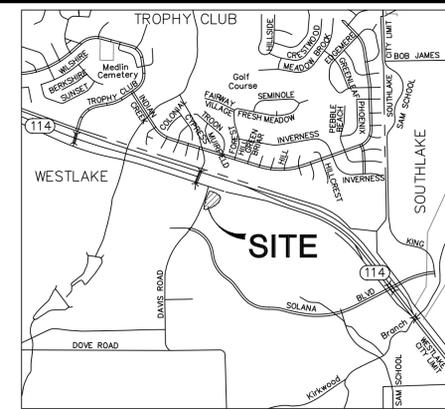
THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE ENGINEER:  
BROWN & GAY ENGINEERS, INC.  
TEXAS REGISTERED ENGINEERING FIRM F-1046  
WILLIAM R. JANNEY, P.E.  
TEXAS REGISTRATION NO. 108663  
FEBRUARY 5, 2016

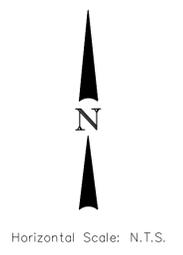
**TOWN OF WESTLAKE**

APPROVED \_\_\_\_\_  
TITLE \_\_\_\_\_  
DATE \_\_\_\_\_

BROWN & GAY ENGINEERS, INC.  
 2595 DALLAS PARKWAY, SUITE 204, FRISCO, TX 75034  
 TEL: 972-464-4800 • WWW.BROWNGAY.COM  
 TBPE REGISTRATION NO. F-1046  
 CONTACT: WILL JANNEY, P.E.  
 TEL: 972-464-4835



VICINITY MAP  
 (NOT TO SCALE)



LEGEND  
 (A) BLOCK NAME

**BGE**  
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 2595 Dallas Parkway, Suite 204  
 Frisco, TX 75034  
 Tel: 972-464-4800 • www.browngay.com  
 TBPE Registration No. F-1046  
 Contact: Will Janney  
 Tel: 972-464-4835  
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**CA**  
**CENTURION AMERICAN**

**DEVELOPER**  
**CENTURION AMERICAN**  
 1800 Valley View Lane, Suite 300  
 Farmers Branch, TX 75234  
 Contact: Michael Beaty  
 Tel: 214-287-9009

**MOORELAND**  
 Engineering • Development • Construction

CENTURION AMERICAN  
**DAVIS/114 CORNER SITE PLAN PACKAGE**  
**DAVIS/114 CORNER AT WESTLAKE ENTRADA**  
 BEING 1.733 ACRES  
 TOWN OF WESTLAKE, TARRANT COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE ENGINEER:  
 BROWN & GAY ENGINEERS, INC.  
 TEXAS REGISTERED ENGINEERING FIRM F-1046  
 WILLIAM R. JANNEY, P.E.  
 TEXAS REGISTRATION NO. 108663  
 JANUARY 14, 2016

**CAUTION !!**  
 Contractor to Verify exact location & Depth of Exist Facilities Prior to any Construction Activities

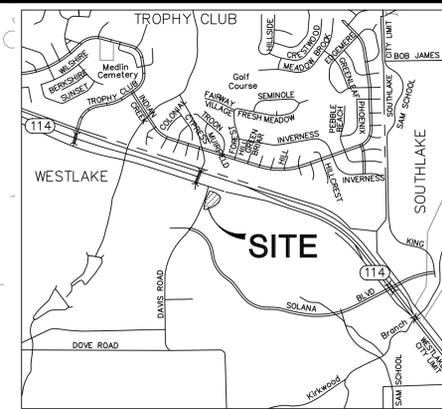
**CAUTION !!!**  
 CONTACT: 1-800-DIG-TESS  
 48 HOURS PRIOR TO CONSTRUCTION

REVISIONS		
REV NO.	DATE	DESCRIPTION

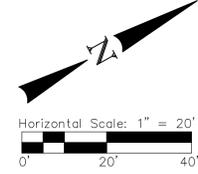
DRAWN BY:  
 CHECKED BY:  
 DATE:  
 PROJECT NUMBER:

Sheet No.  
**KEY MAP**  
**C2**

**DAVIS BLVD**  
(VARIABLE WIDTH R.O.W.)

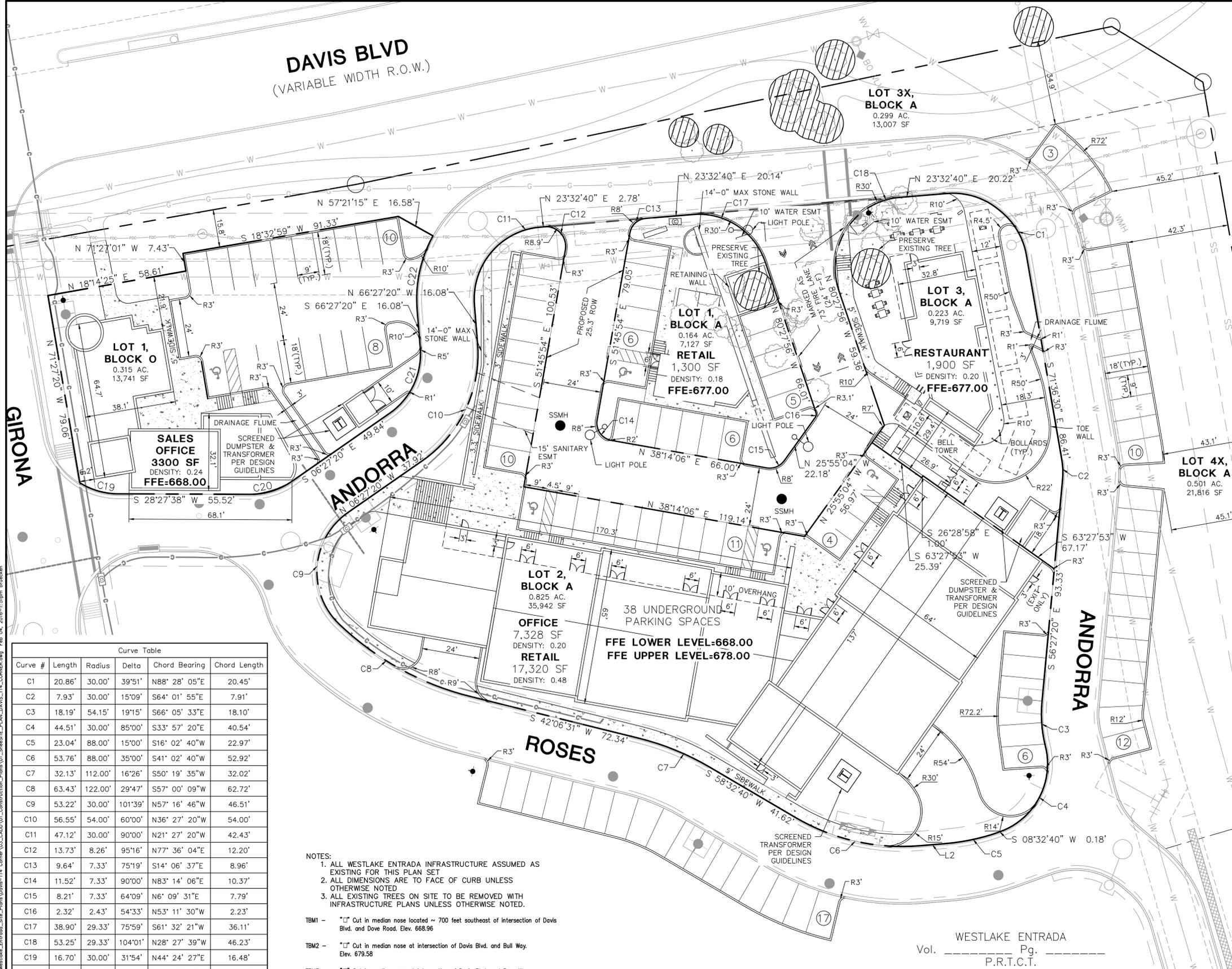


**VICINITY MAP**  
(NOT TO SCALE)



**OVERALL LEGEND**

- FH ● PROPOSED FIRE HYDRANT
- SSMH ○ PROPOSED SANITARY MANHOLE
- PROPOSED STREET LIGHT
- ◐ EXISTING TREE TO REMAIN
- LS □ EXISTING TRANSFORMER
- PROPOSED LANDSCAPE
- EXISTING STREET LIGHT
- EXISTING GAS METER
- EXISTING ELECTRIC MANHOLE
- EXISTING SIGN
- FH ● EXISTING FIRE HYDRANT
- SSMH ○ EXISTING FIRE HYDRANT
- EXISTING FIRE HYDRANT
- EXISTING FIRE HYDRANT



Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C1	20.86'	30.00'	39°51'	N88° 28' 05"E	20.45'
C2	7.93'	30.00'	15°09'	S64° 01' 55"E	7.91'
C3	18.19'	54.15'	19°15'	S66° 05' 33"E	18.10'
C4	44.51'	30.00'	85°00'	S33° 57' 20"E	40.54'
C5	23.04'	88.00'	15°00'	S16° 02' 40"W	22.97'
C6	53.76'	88.00'	35°00'	S41° 02' 40"W	52.92'
C7	32.13'	112.00'	16°26'	S50° 19' 35"W	32.02'
C8	63.43'	122.00'	29°47'	S57° 00' 09"W	62.72'
C9	53.22'	30.00'	101°39'	N57° 16' 46"W	46.51'
C10	56.55'	54.00'	60°00'	N36° 27' 20"W	54.00'
C11	47.12'	30.00'	90°00'	N21° 27' 20"W	42.43'
C12	13.73'	8.26'	95°16'	N77° 36' 04"E	12.20'
C13	9.64'	7.33'	75°19'	S14° 06' 37"E	8.96'
C14	11.52'	7.33'	90°00'	N83° 14' 06"E	10.37'
C15	8.21'	7.33'	64°09'	N6° 09' 31"E	7.79'
C16	2.32'	2.43'	54°33'	N53° 11' 30"W	2.23'
C17	38.90'	29.33'	75°59'	S61° 32' 21"W	36.11'
C18	53.25'	29.33'	104°01'	N28° 27' 39"W	46.23'
C19	16.70'	30.00'	31°54'	N44° 24' 27"E	16.48'
C20	18.28'	30.00'	34°55'	N11° 00' 09"E	18.00'
C21	31.42'	30.00'	60°00'	N36° 27' 20"W	30.00'
C22	31.86'	54.00'	33°49'	N49° 33' 02"W	31.40'

- NOTES:**
- ALL WESTLAKE ENTRADA INFRASTRUCTURE ASSUMED AS EXISTING FOR THIS PLAN SET
  - ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED
  - ALL EXISTING TREES ON SITE TO BE REMOVED WITH INFRASTRUCTURE PLANS UNLESS OTHERWISE NOTED.

- TBM1** - \*Cut in median nose located ~ 700 feet southeast of intersection of Davis Blvd. and Dove Road. Elev. 668.96
- TBM2** - \*Cut in median nose at intersection of Davis Blvd. and Bull Way. Elev. 679.58
- TBM3** - \*Cut in median nose at intersection of Davis Blvd. and Bear Way. Elev. 683.26
- TBM4** - \*Cut in median nose located ~600 feet east of intersection of Davis Blvd. and Dove Road. Elev. 648.47

REQUIRED PARKING			
BLDG	Use	SF	Parking Required
Starbucks	Restaurant	1900	19
Sales Center	Office	3300	11
Retail 1	Restaurant	1300	13
Office/Retail	Office	7328	25
Office/Retail	Retail	17320	87
<b>Total</b>			<b>155</b>

Time of Day	SHARED PARKING												
	Office	Retail	Restaurant	Theater	Hotel	Residential	Office Total	Retail Total	Restaurant Total	Theater Total	Hotel Total	Residential Total	Total Required Parks
6:00 a.m. - 12 noon	1.00	0.97	0.50	0.30	1.00	0.30	36	100	19	0	0	0	143
12 noon - 1:00 p.m.	0.90	1.00	0.70	0.70	0.35	0.35	36	100	19	0	0	0	146
1:00 p.m. - 4:00 p.m.	0.97	0.97	0.60	0.70	0.45	0.30	36	100	19	0	0	0	144
4:00 p.m. - 6:00 p.m.	0.47	0.82	0.90	0.80	0.70	0.60	36	100	19	0	0	0	117
6:00 p.m. - 8:00 p.m.	0.07	0.89	1.00	1.00	1.00	0.80	36	100	19	0	0	0	111
8:00 p.m. - 12:00 midnight	0.03	0.61	1.00	1.00	1.00	1.00	36	100	19	0	0	0	82

Required Parking: 146  
Parking Provided: 146

**BGE**  
**Brown & Gay Engineers, Inc.**  
2595 Dallas Parkway, Suite 204  
Frisco, TX 75034  
Tel: 972-464-4800 • www.browngay.com  
TBPE Registration No. F-1046  
Contact: Will Janney  
Tel: 972-464-4835  
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**CA**  
**CENTURION AMERICAN**

**DEVELOPER**  
**CENTURION AMERICAN**  
1800 Valley View Lane, Suite 300  
Farmers Branch, TX 75234  
Contact: Michael Beatty  
Tel: 214-287-9009

**MOORELAND**  
Engineering • Development • Construction

**CENTURION AMERICAN**  
**DAVIS/114 PD SITE PLAN PACKAGE**  
**DAVIS/114 CORNER**  
**AT WESTLAKE ENTRADA**  
BEING 1.733 ACRES  
TOWN OF WESTLAKE, TARRANT COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE ENGINEER:  
BROWN & GAY ENGINEERS, INC.  
TEXAS REGISTERED ENGINEERING FIRM F-1046  
WILLIAM R. JANNEY, P.E.  
TEXAS REGISTRATION NO. 108663  
JANUARY 14, 2016

**CAUTION II**  
Contractor to Verify exact location & Depth of Exist Facilities Prior to any Construction Activities

**CAUTION III**  
CONTACT: 1-800-DIG-TESS  
48 HOURS PRIOR TO CONSTRUCTION

REVISIONS		
REV NO.	DATE	DESCRIPTION

DRAWN BY:  
CHECKED BY:  
DATE:  
PROJECT NUMBER:

Sheet No. **C3**  
**SITE PLAN**

BROWN & GAY ENGINEERS, INC. PROJECT: DAVIS/114 CORNER SITE PLAN PACKAGE DATE: 01/14/2016

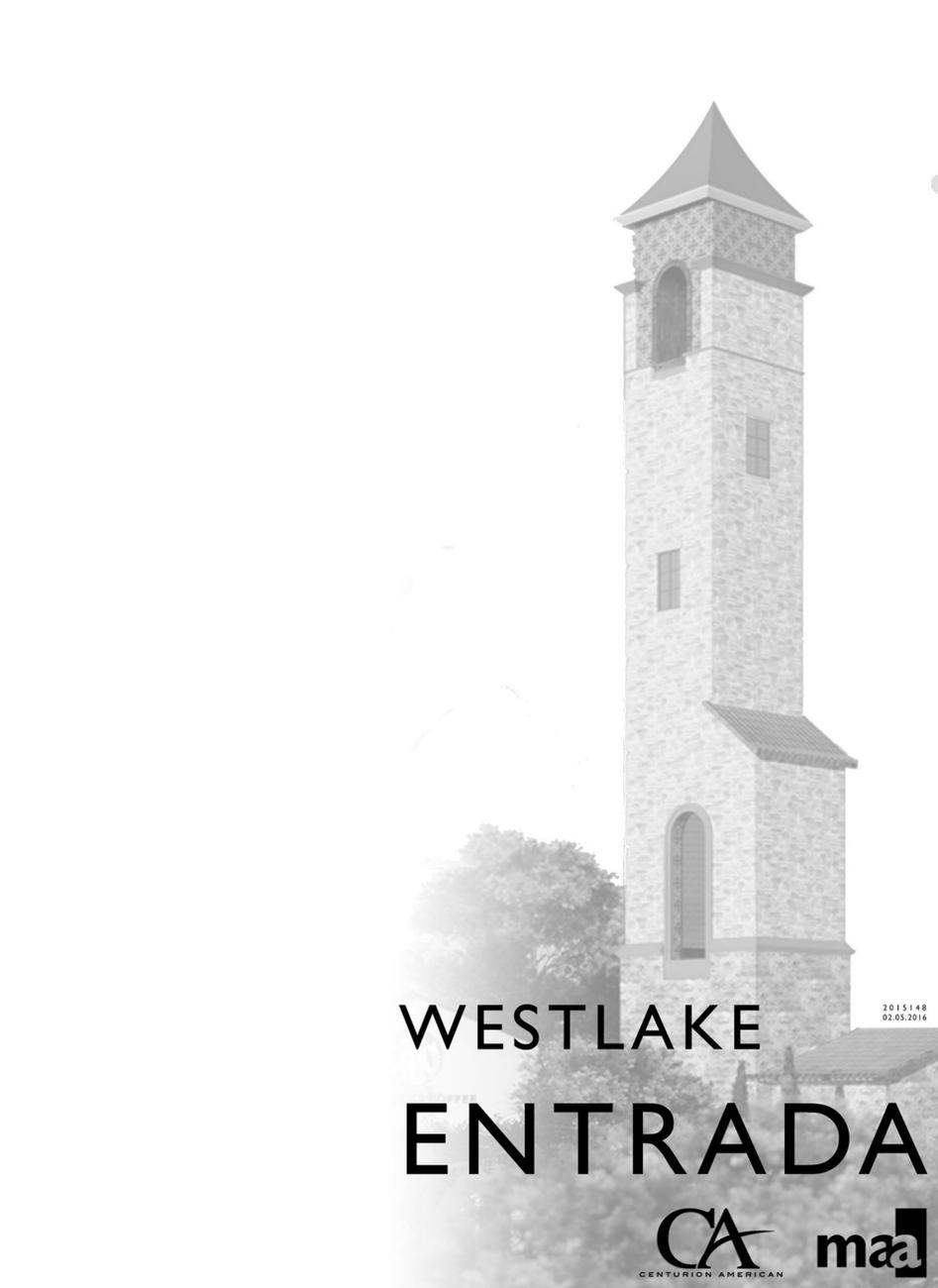
**DEVELOPER** **CENTURION AMERICAN**  
1800 Valley View Lane, Suite 300  
Farmers Branch, Texas 75234  
Contact: Michael Beatty  
Telephone: (214)-287-9009

**OWNER** **MAGUIRE PARTNERS - SOLANA LAND L.P.**  
9 Village Circle, Suite 500  
Roanoke, Texas 76262

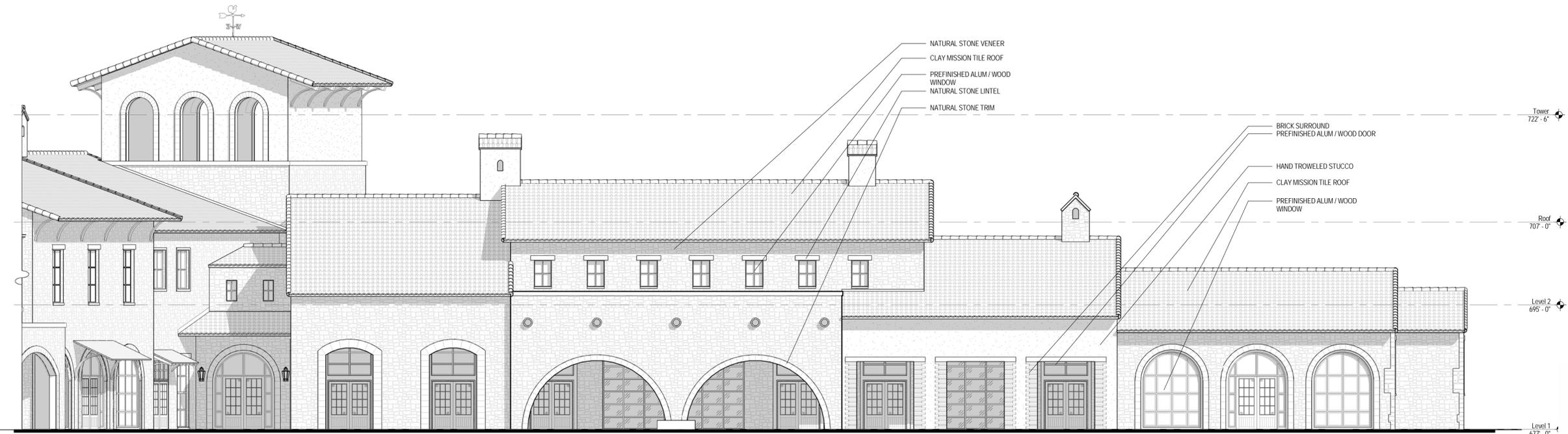
**SURVEYOR/ENGINEER** **Brown & Gay Engineers, Inc.**  
500 West 7th St., Suite 1800, Fort Worth, TX 76102  
TBPE Registration No. F-1046  
Copyright 2015



WESTLAKE  
ENTRADA



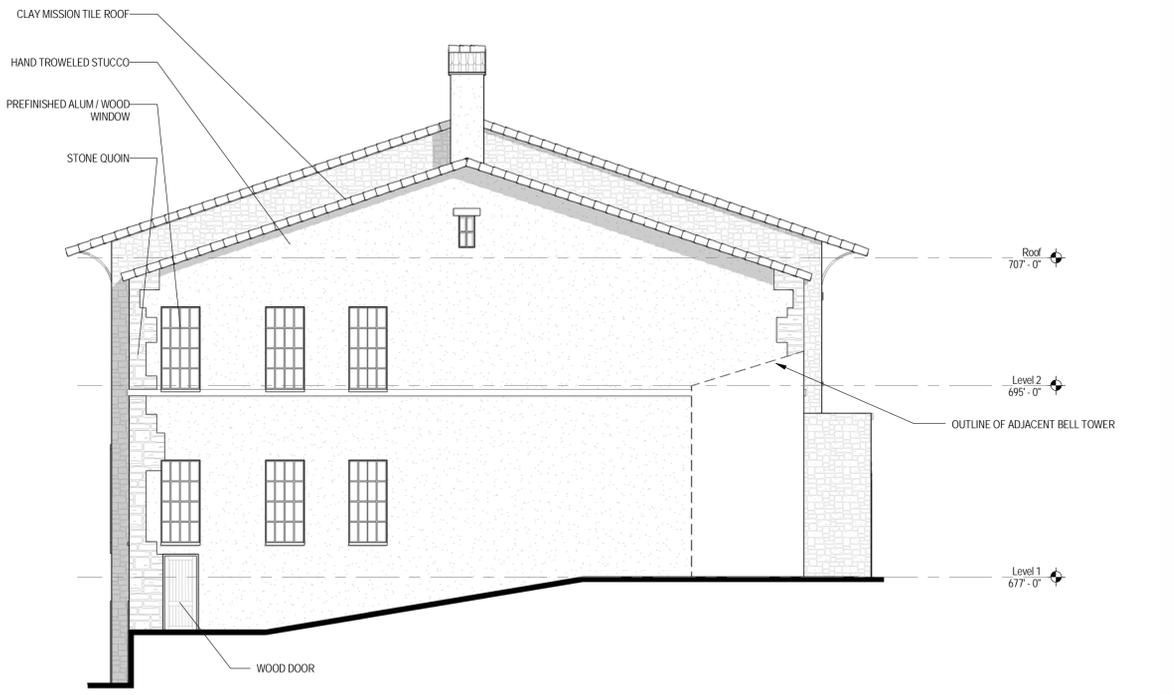
WESTLAKE  
ENTRADA



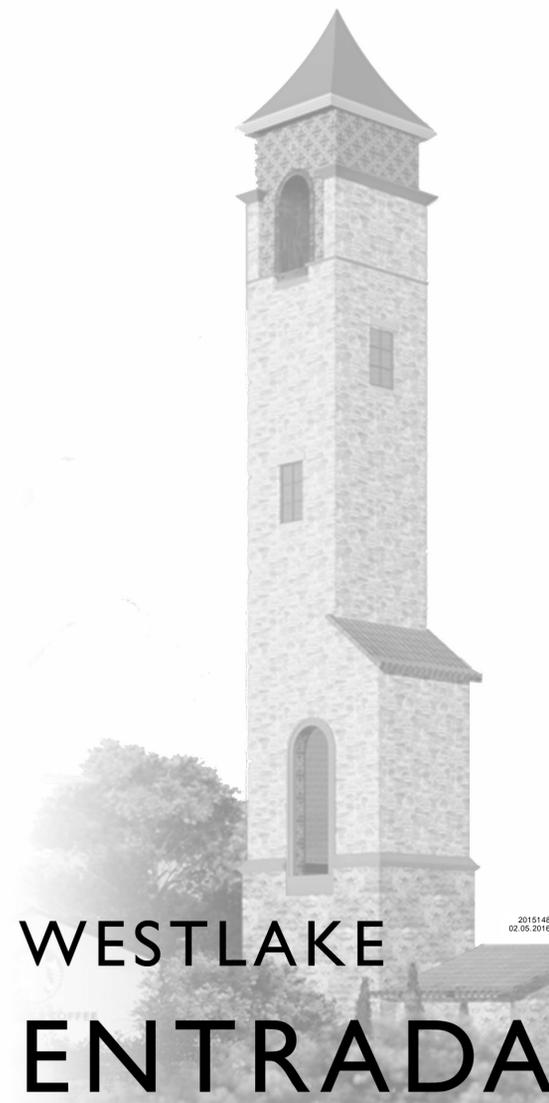
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NORTHWEST ELEVATION  
SCALE: 1/8" = 1'-0"



NORTHEAST ELEVATION  
SCALE: 1/8" = 1'-0"

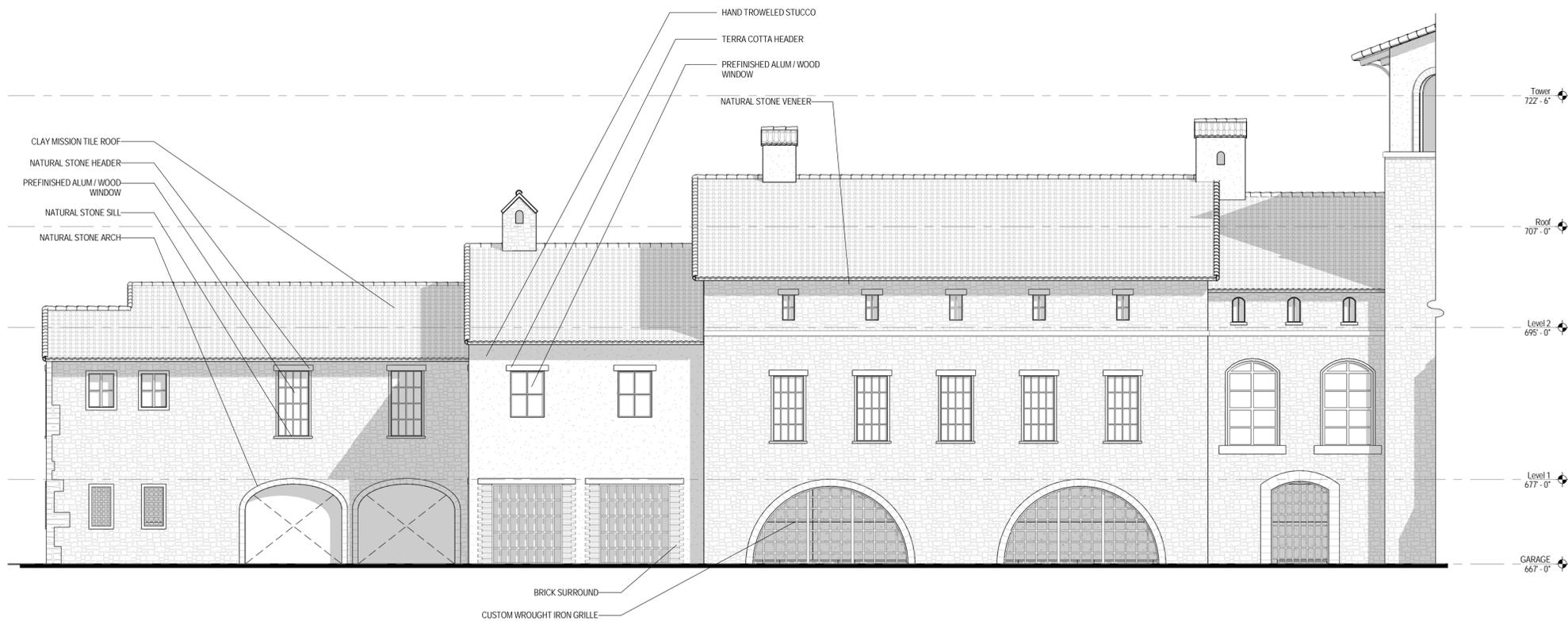


# WESTLAKE ENTRADA

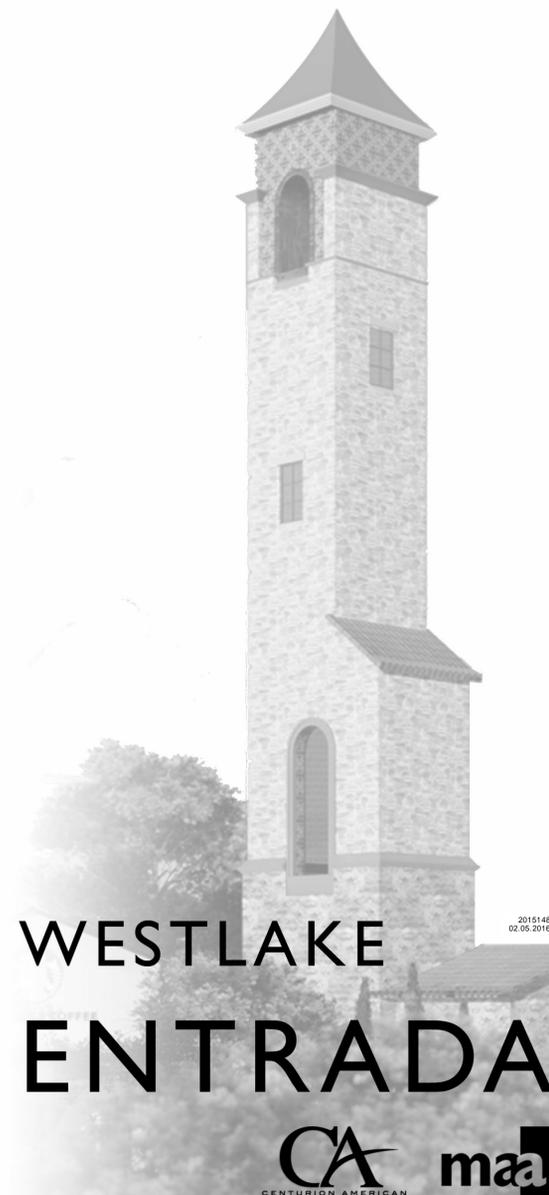
ENTRADA RETAIL CORNER | RETAIL OFFICE ELEVATIONS



SOUTHEAST ELEVATION  
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SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

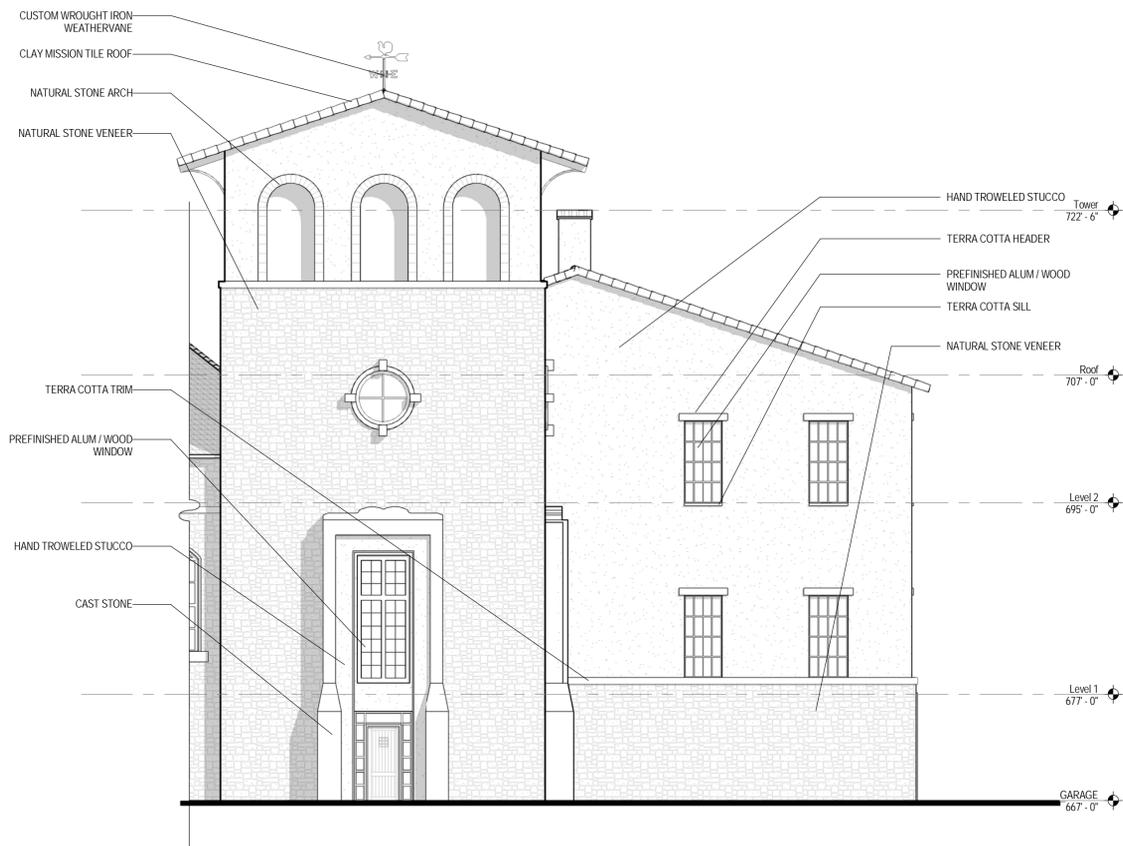


ENTRADA RETAIL CORNER | RETAIL OFFICE ELEVATIONS

WESTLAKE  
ENTRADA

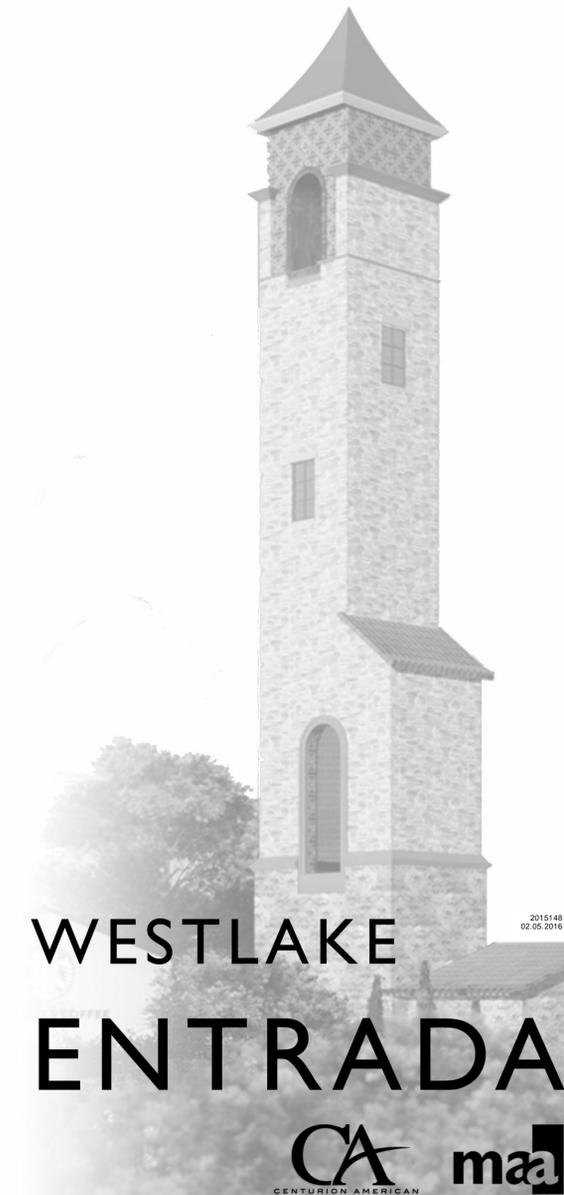


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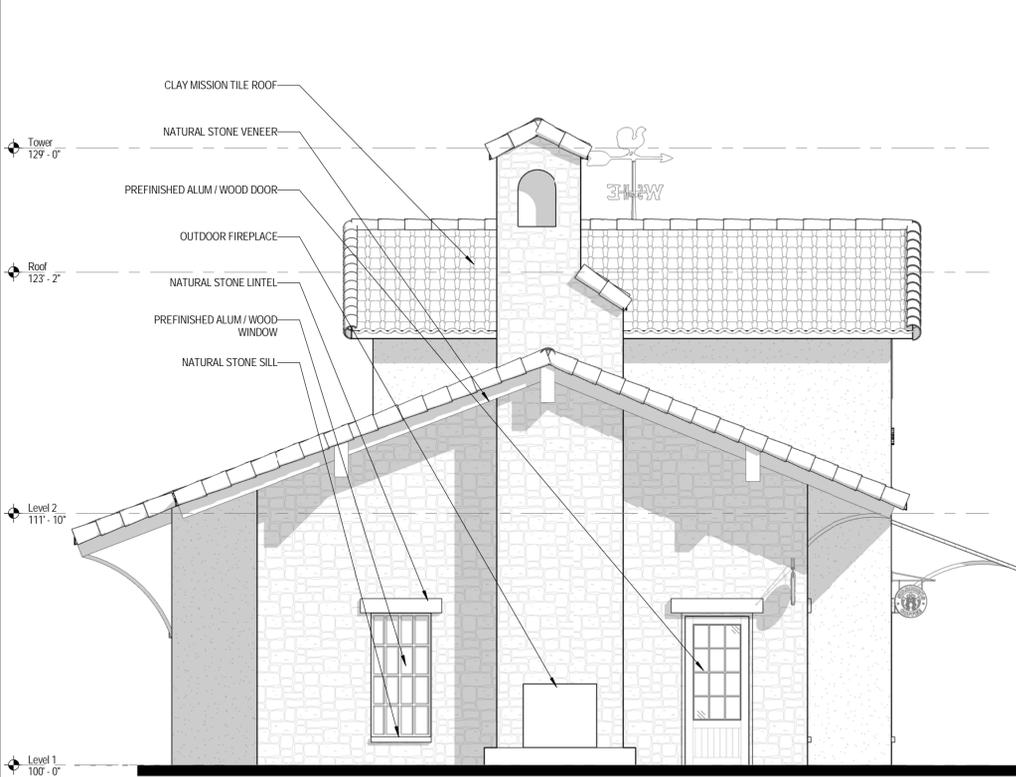


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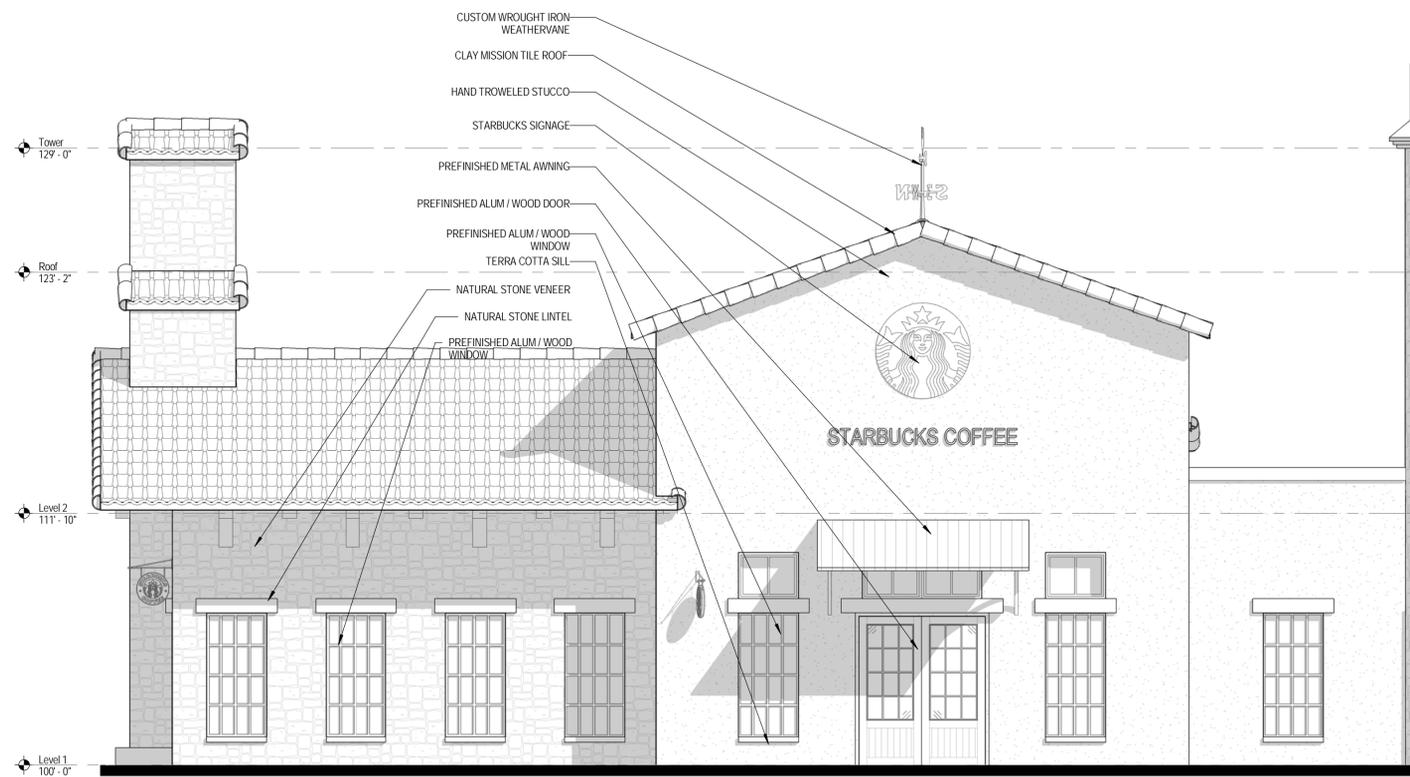
ENTRADA RETAIL CORNER | RETAIL OFFICE ELEVATIONS



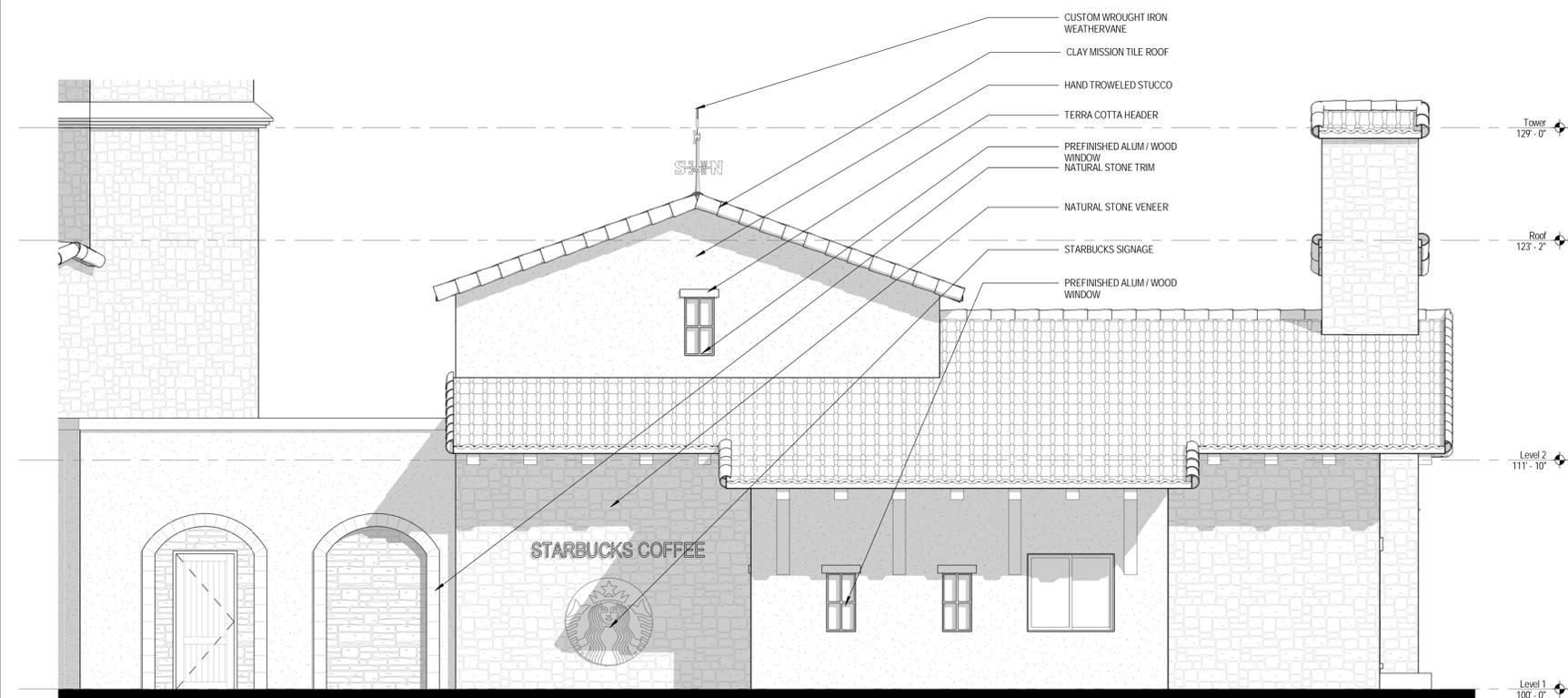
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ENTRADA



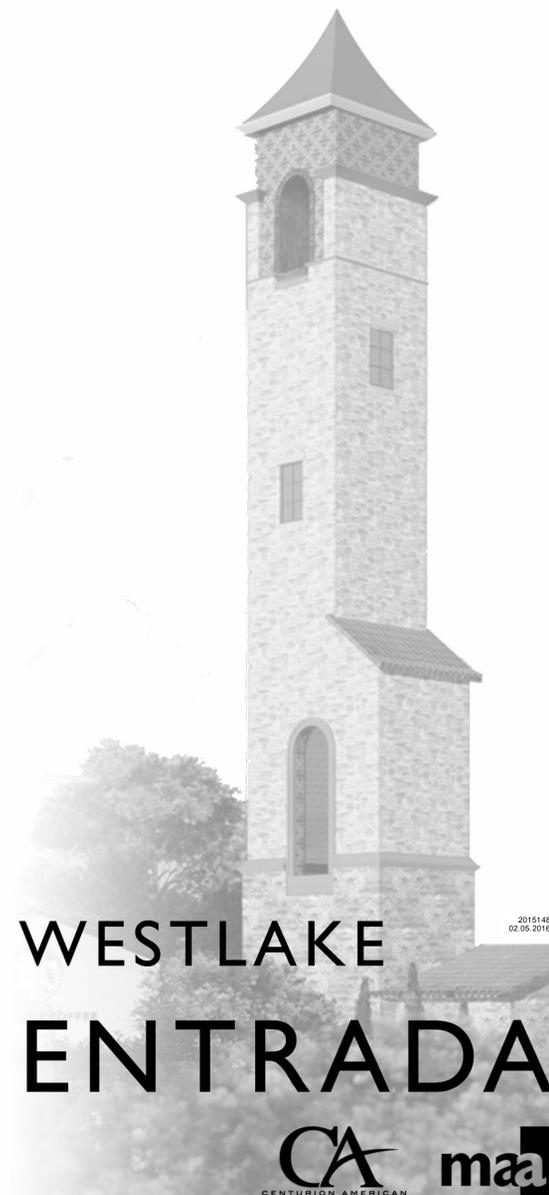
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SOUTHWEST ELEVATION  
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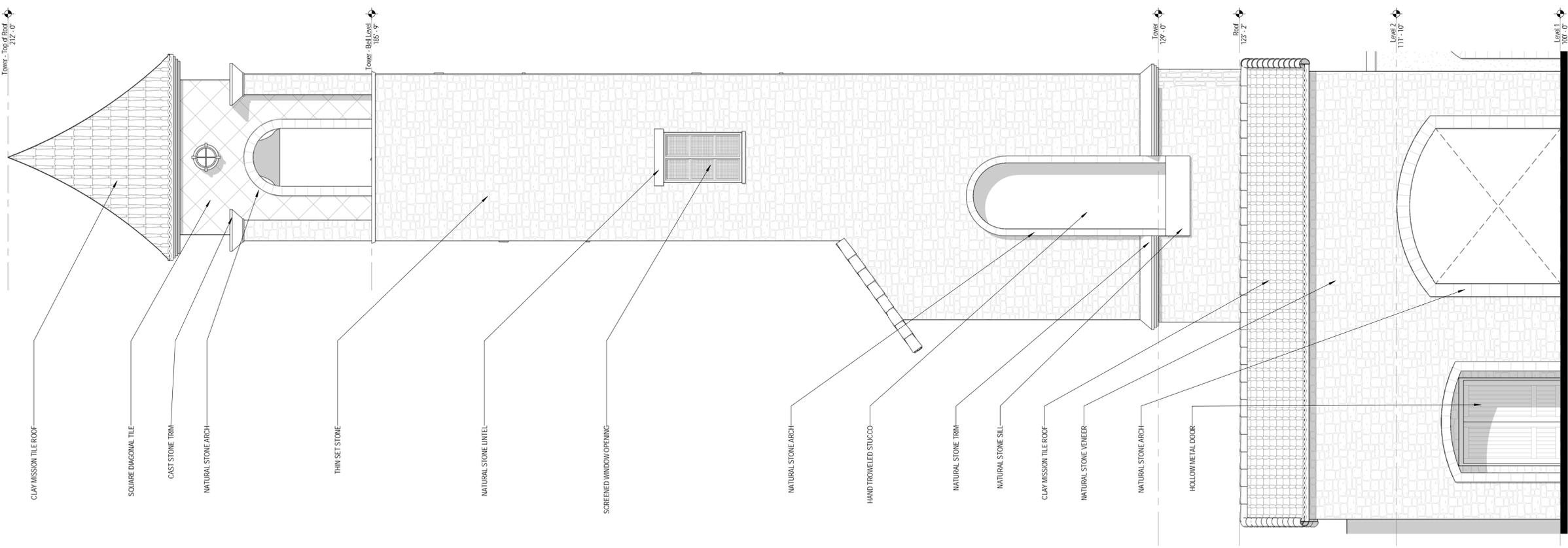


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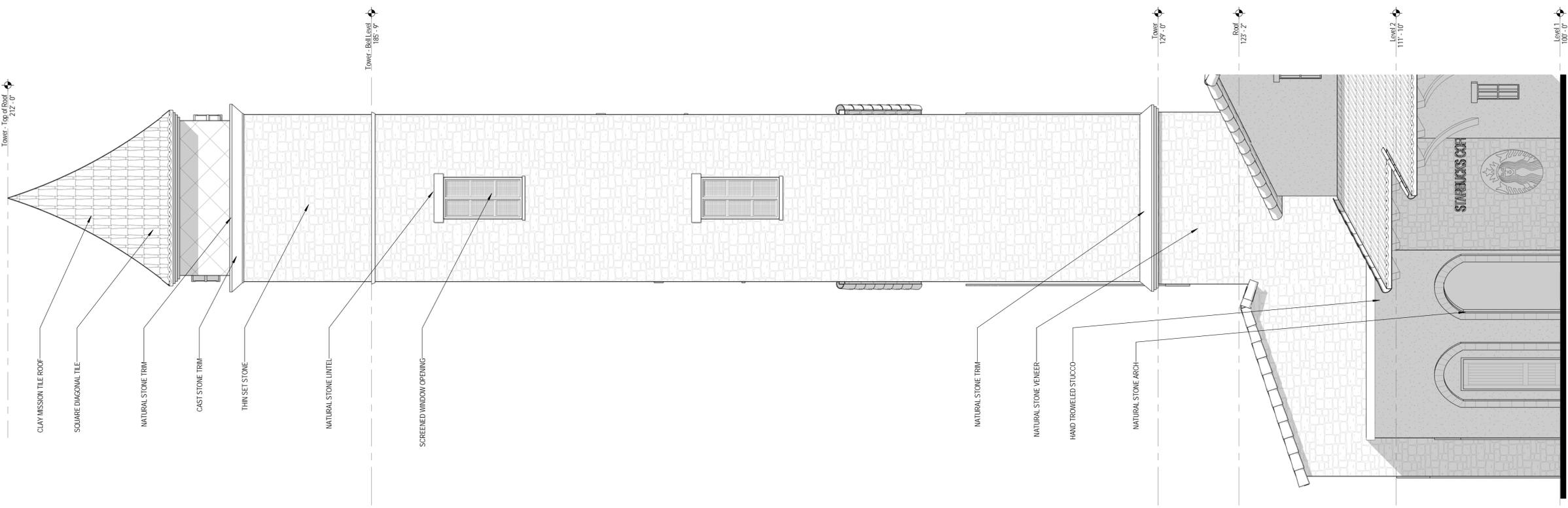


WESTLAKE  
 ENTRADA

ENTRADA RETAIL CORNER | STARBUCKS ELEVATIONS

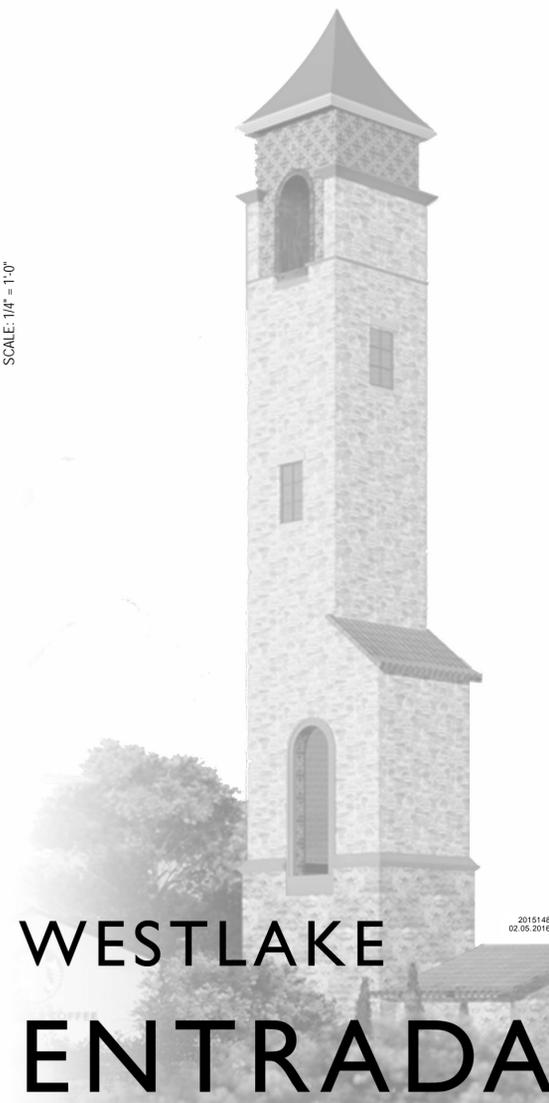


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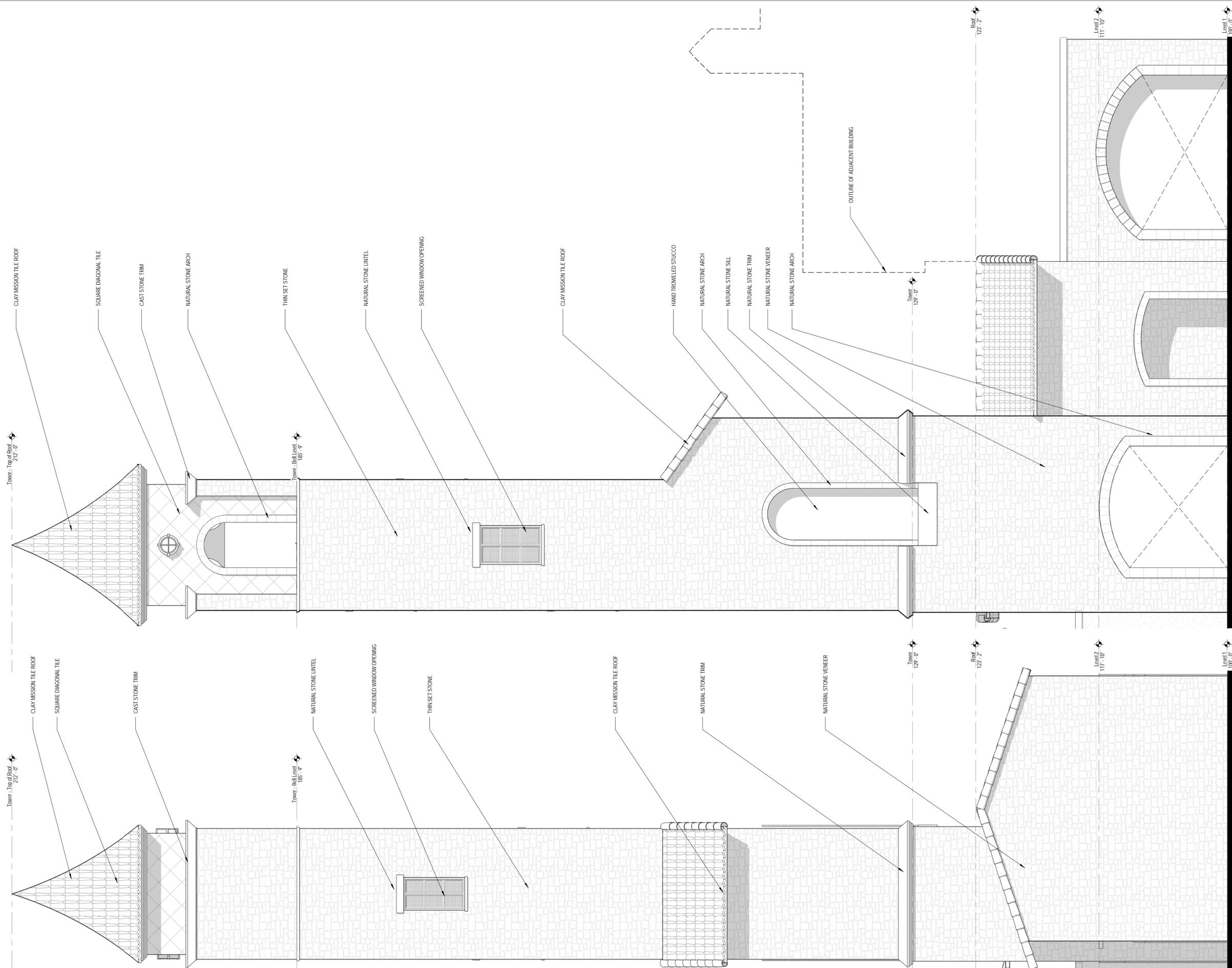


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ENTRADA RETAIL CORNER | STARBUCKS ELEVATIONS



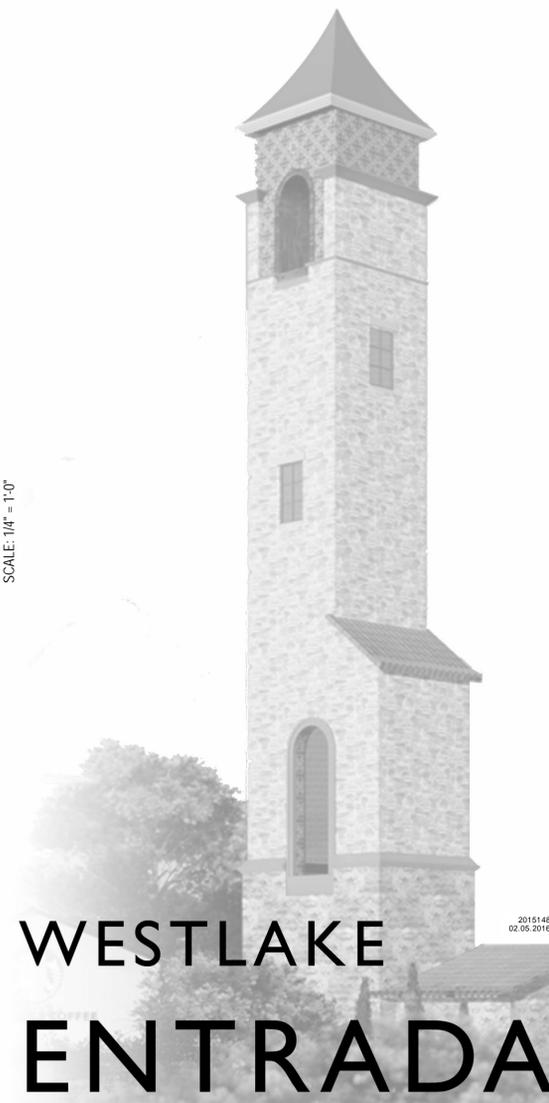
WESTLAKE  
ENTRADA



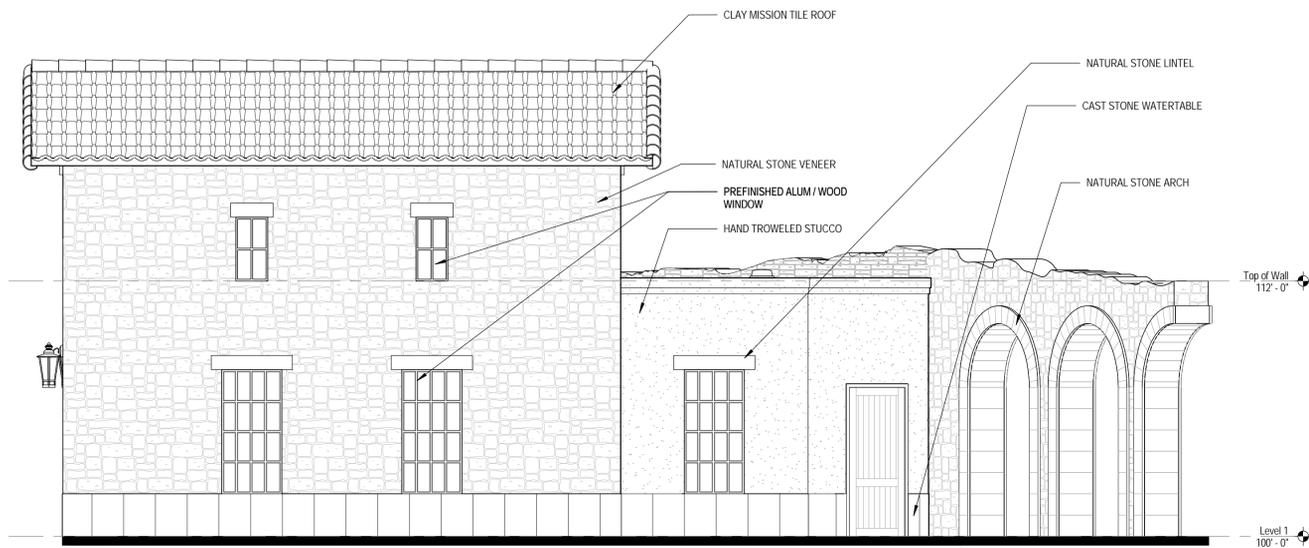
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SCALE: 1/4" = 1'-0"

SOUTHEAST ELEVATION  
SCALE: 1/4" = 1'-0"

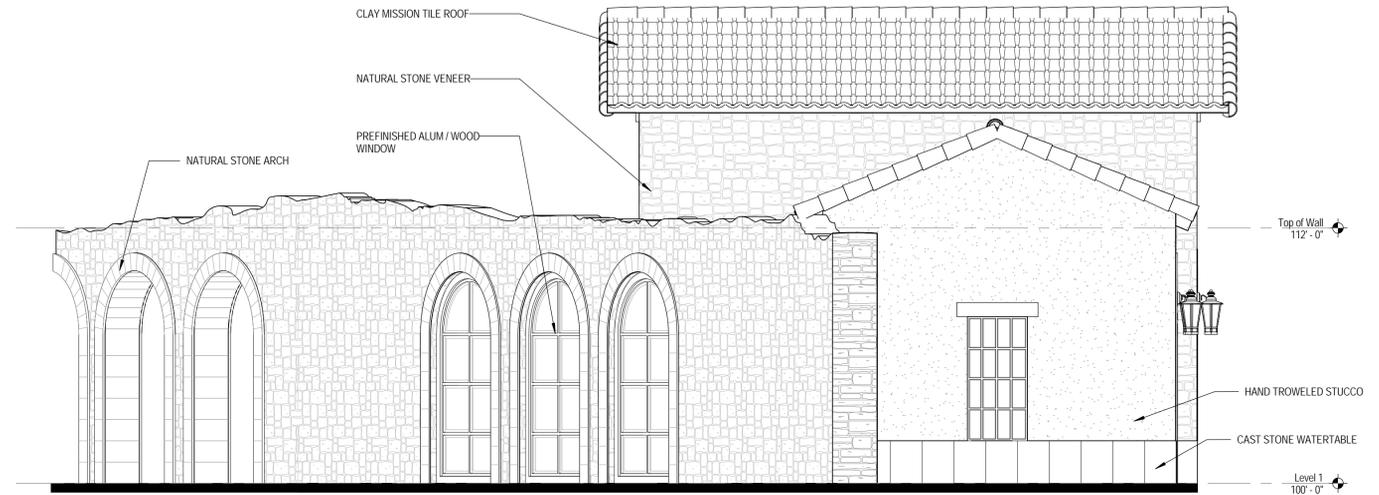
ENTRADA RETAIL CORNER | STARBUCKS ELEVATIONS



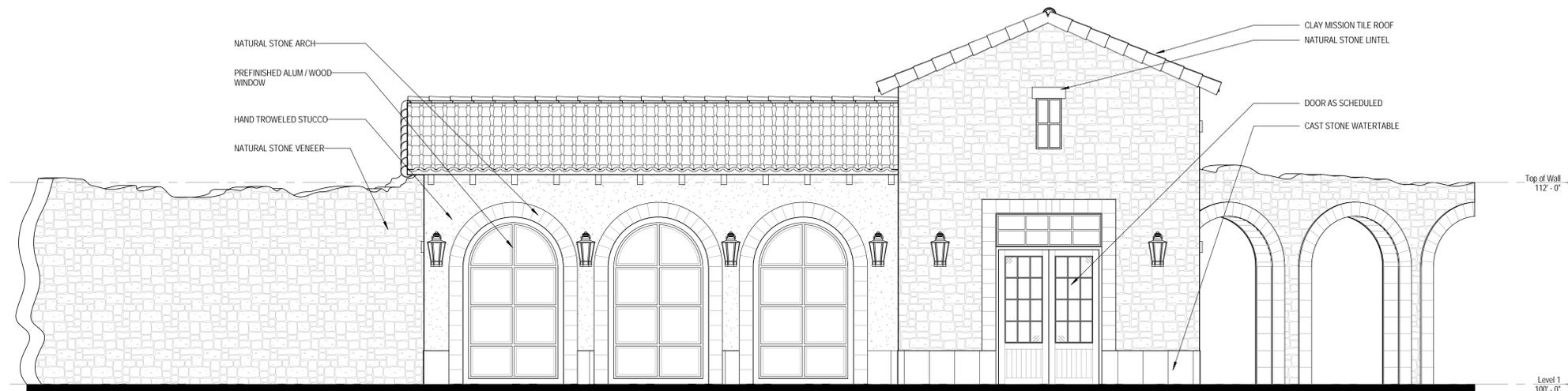
WESTLAKE  
ENTRADA



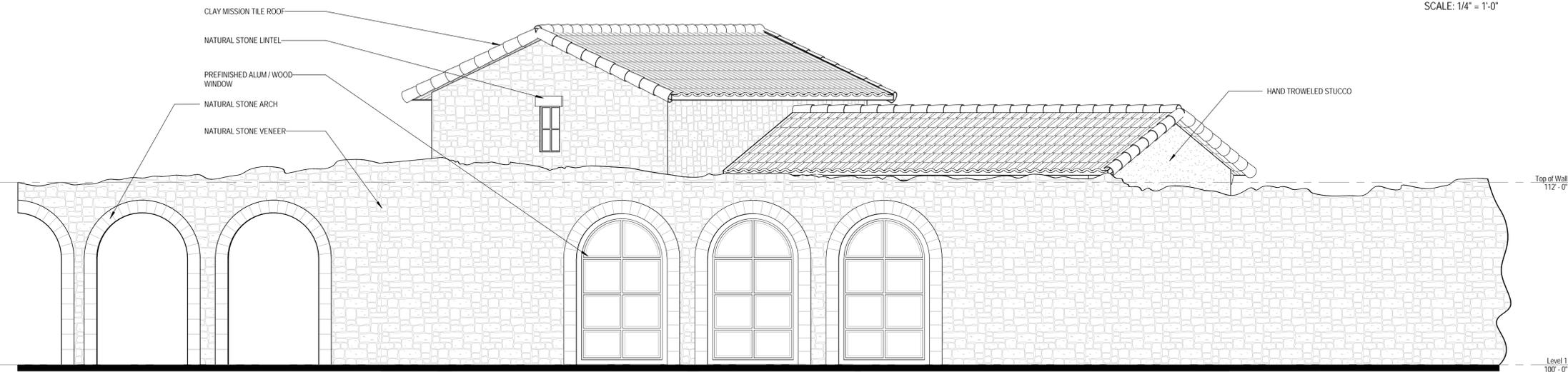
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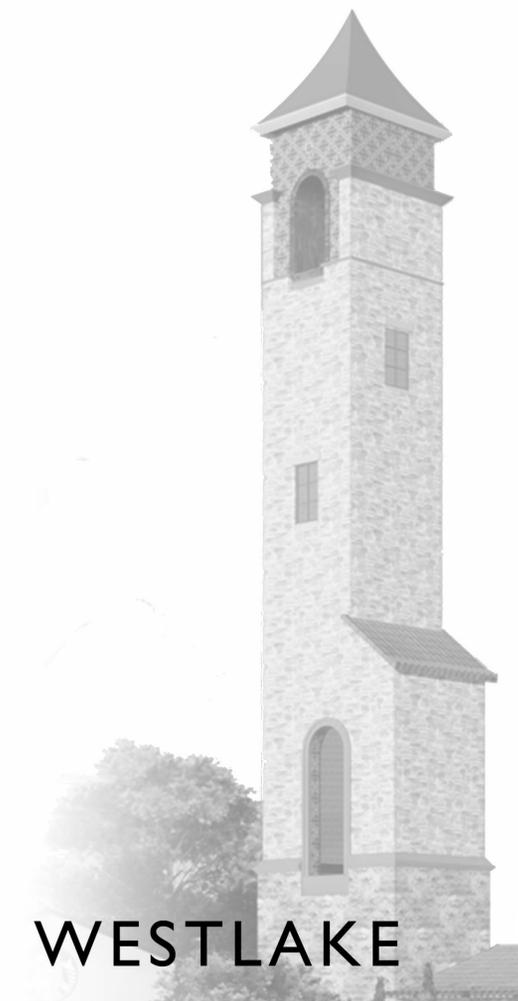
WEST ELEVATION  
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



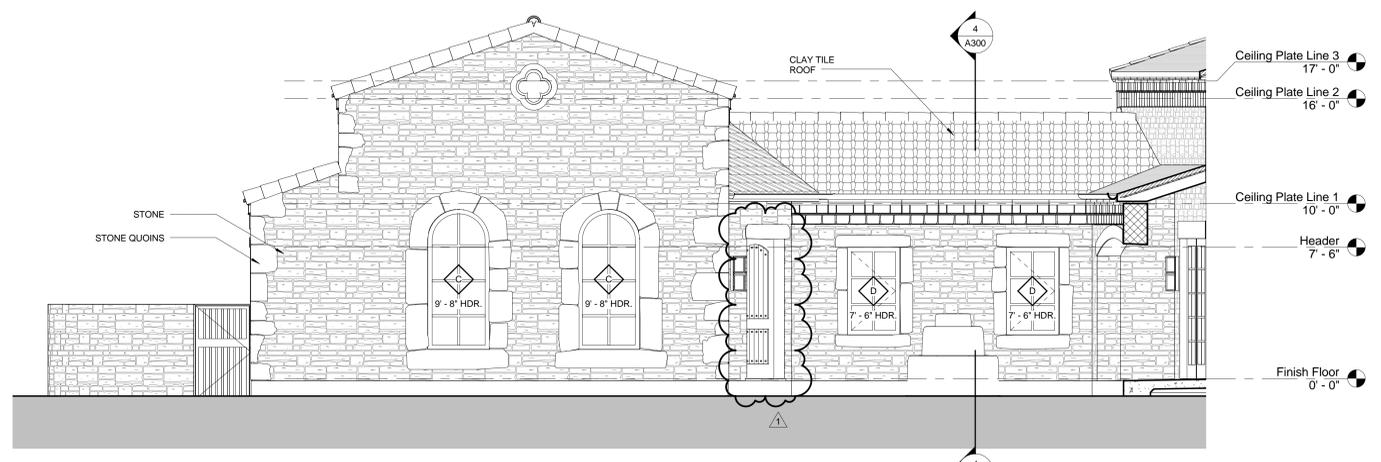
ENTRADA RETAIL CORNER | RETAIL ONE ELEVATIONS

WESTLAKE  
ENTRADA

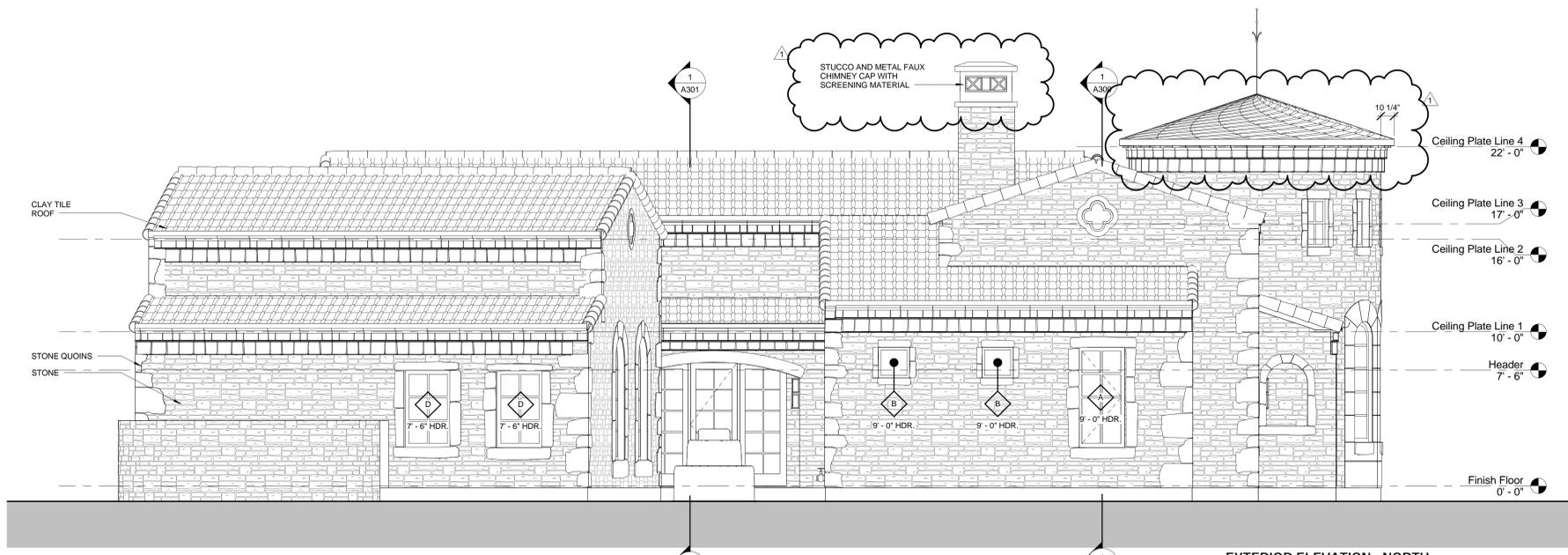
NOTE:  
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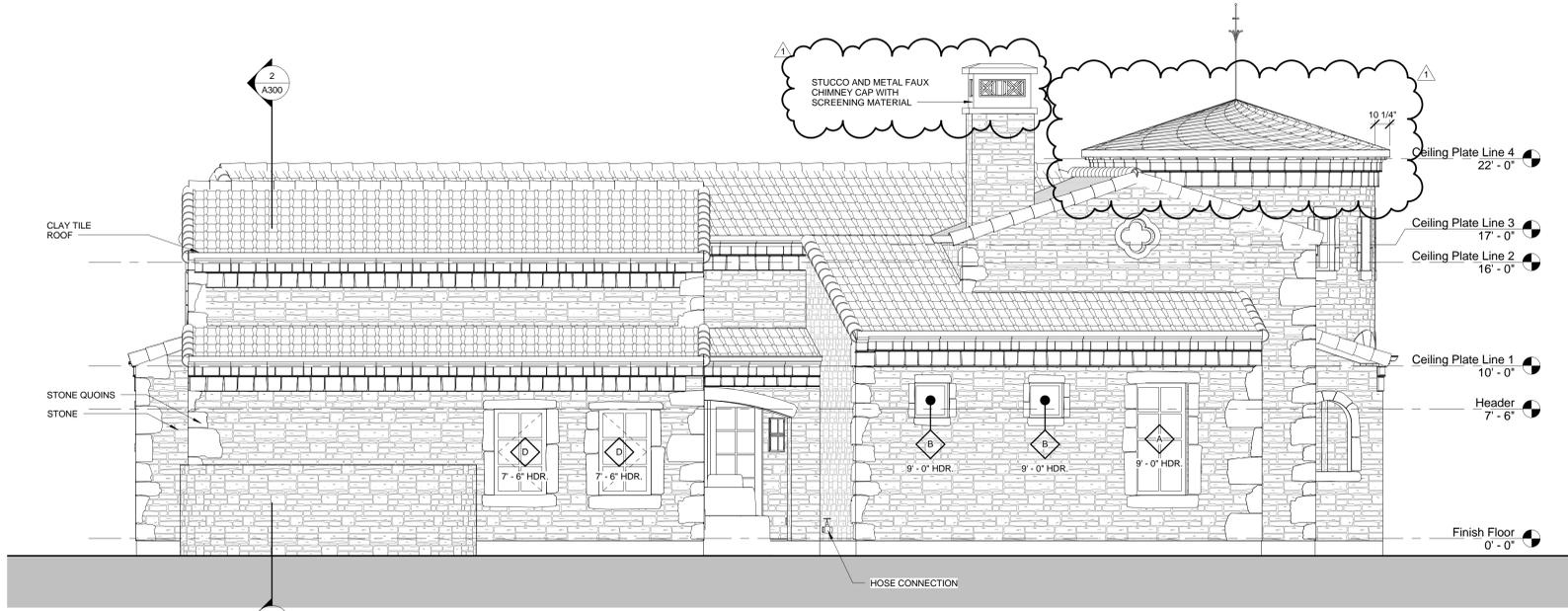
INFORMATIONAL NOTES



3 EXTERIOR ELEVATION - WEST  
1/4" = 1'-0"



2 EXTERIOR ELEVATION - NORTH  
1/4" = 1'-0"



1 EXTERIOR ELEVATION - NORTHEAST  
1/4" = 1'-0"

WESTLAKE ENTRADA SALES OFFICE  
DAVIS BLVD. WESTLAKE, TEXAS

**SCHAUMBURG**  
ARCHITECTS  
817 W. DAGGETT AVENUE, FORT WORTH, TEXAS 76104  
PHONE: (817) 336-7077 FAX: (817) 336-7776

Project No: 1503

Revision No.	Revision	Rev Date
1	EXTERIOR ELEVATIONS	02/04/2016



Project Issue Date: 2015-12-23

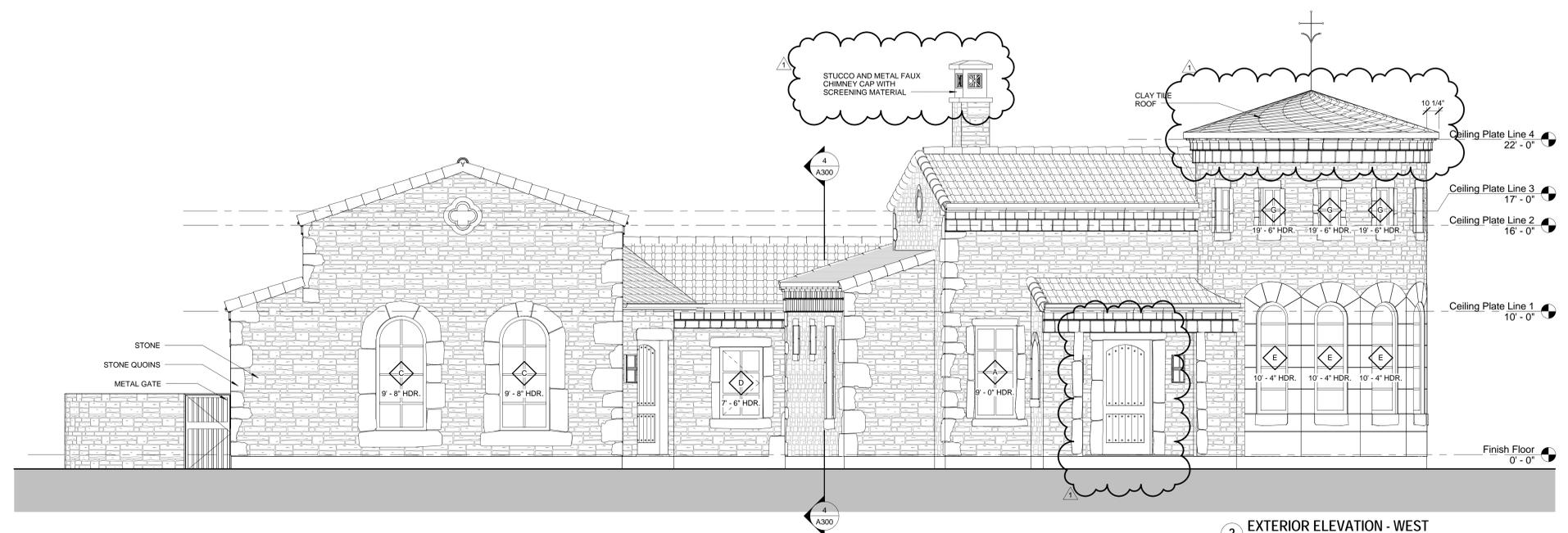
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Sheet Issue: 2016-02-04  
Drawn By: [Signature]  
Checked By: [Signature]

A200

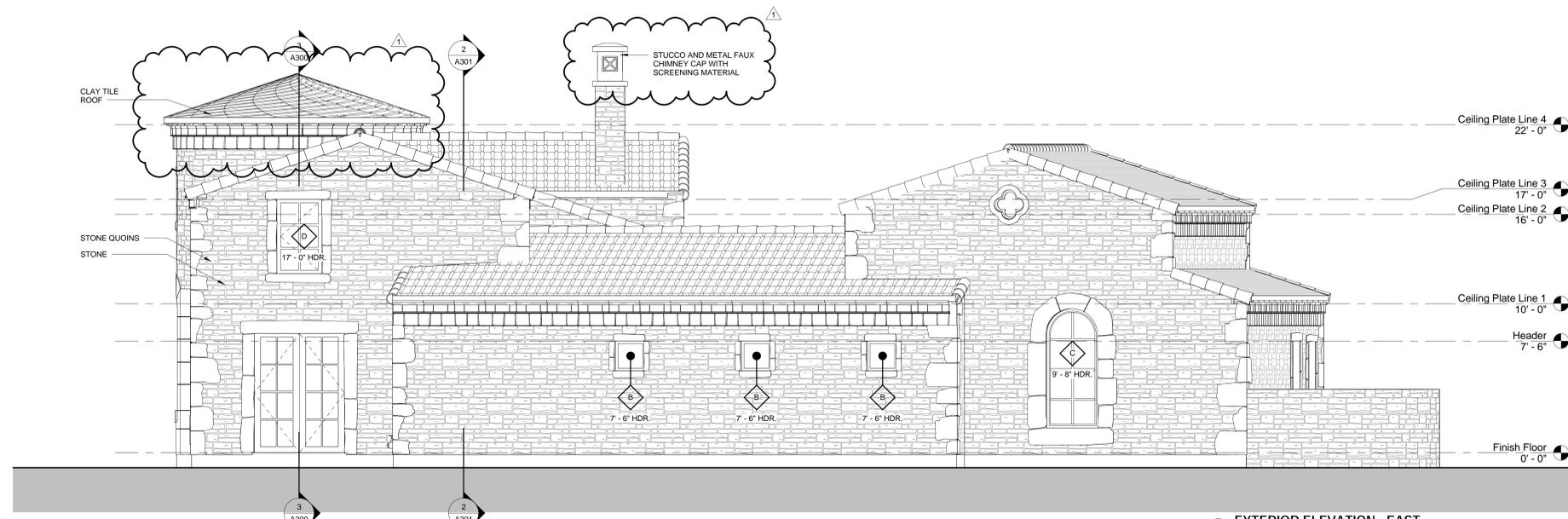
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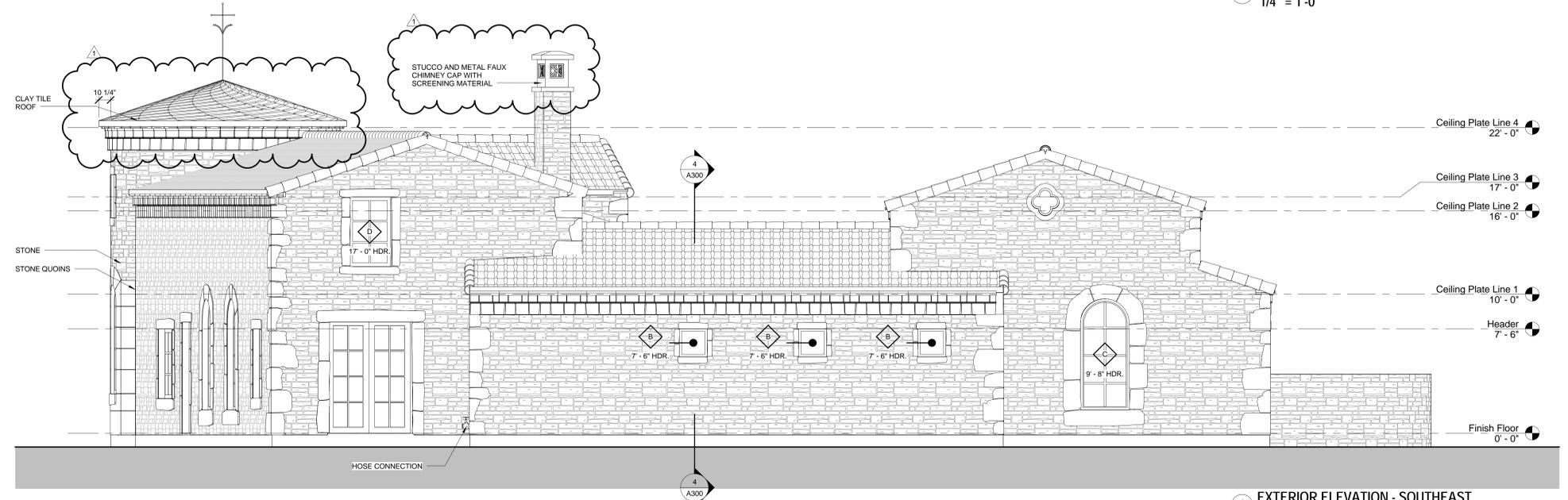
INFORMATIONAL NOTES



3 EXTERIOR ELEVATION - WEST  
 1/4" = 1'-0"



2 EXTERIOR ELEVATION - EAST  
 1/4" = 1'-0"



1 EXTERIOR ELEVATION - SOUTHEAST  
 1/4" = 1'-0"

WESTLAKE ENTRADA SALES OFFICE  
 DAVIS BLVD. WESTLAKE, TEXAS

**SCHAUMBURG**  
 ARCHITECTS  
 817 W. DAGGETT AVENUE, FORT WORTH, TEXAS 76104  
 PHONE: (817) 336-7077 FAX: (817) 336-7776

Project No: 1503

Revision No.	Revision	Rev Date
1	EXTERIOR ELEVATIONS	02/04/2016



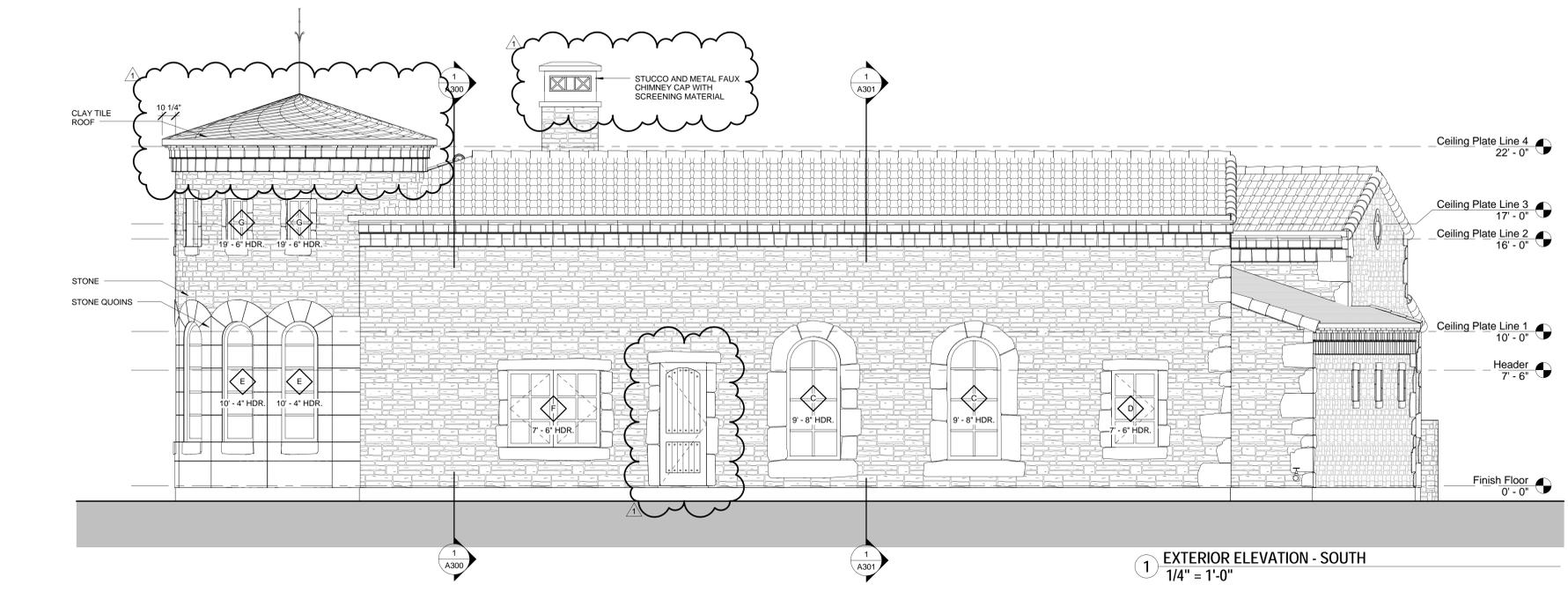
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EXTERIOR ELEVATIONS  
 Sheet Issue: 2016-02-04  
 Drawn By: [Signature] Sheet No:  
 Checked By: **A201**

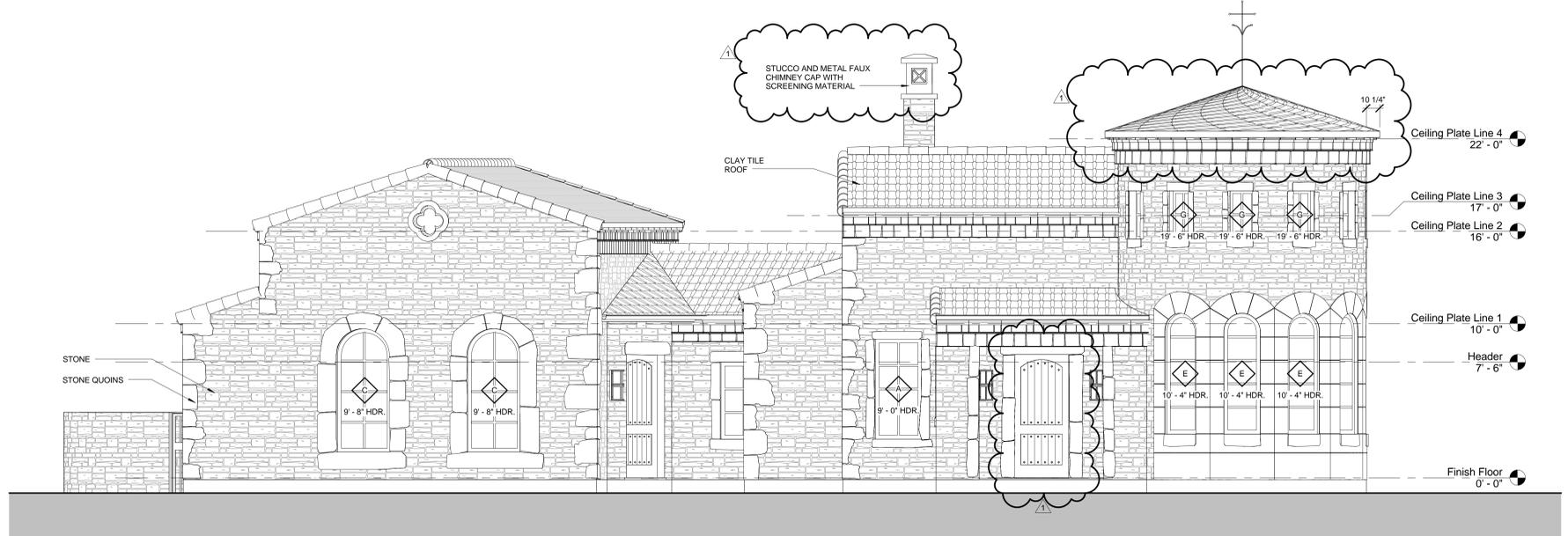
NOTE:  
These architectural drawings have been prepared for architectural design only. Civil, structural, mechanical, and other related engineering design and specifications are the responsibility of the respective engineers. Compliance to these drawings will be the responsibility of the general contractor. All measurements shall be verified by the contractor's doing the respective work.

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INFORMATIONAL NOTES



1 EXTERIOR ELEVATION - SOUTH  
1/4" = 1'-0"



2 EXTERIOR ELEVATION - SOUTHWEST  
1/4" = 1'-0"

WESTLAKE ENTRADA SALES OFFICE

DAVIS BLVD. WESTLAKE, TEXAS

**SCHAUMBURG**  
ARCHITECTS  
817 W. DAGGETT AVENUE, FORT WORTH, TEXAS 76104  
PHONE: (817) 336-7077 FAX: (817) 336-7776

Project No: 1503

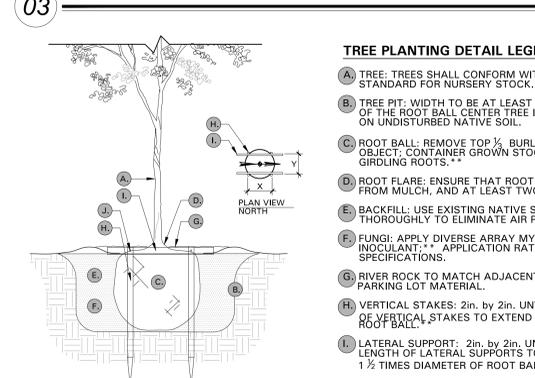
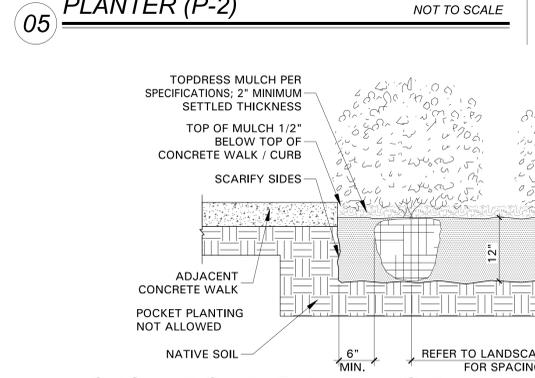
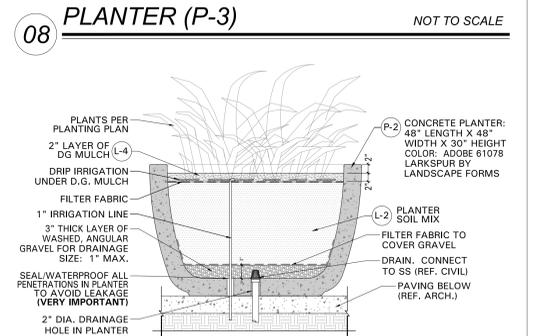
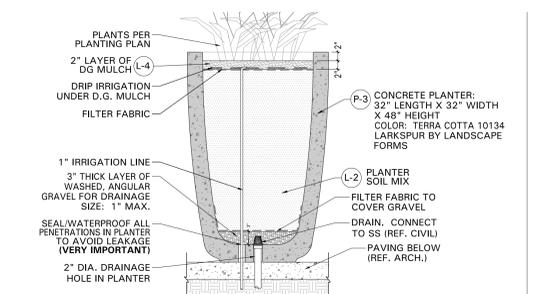
Revision No.	Revision	Rev Date
1	EXTERIOR ELEVATIONS	02/04/2016



Project Issue Date: 2015-12-23

EXTERIOR ELEVATIONS  
Sheet Issue: 2016-02-04  
Drawn By: \_\_\_\_\_  
Checked By: \_\_\_\_\_

Sheet No: **A202**



**02 TREE PLANTING DETAIL NOT TO SCALE**

**PLANT LIST** CONTRACTOR TO VERIFY ALL QUANTITIES PER PLANS

QNTY.	SYMBOL	COMMON NAME	BOTANIC NAME	SIZE	HEIGHT
7	QUE VIR	LIVE OAK	Quercus virginiana	3" CAL. 6' CAL.	PER INDUSTRY STANDARDS
4	QUE SHU	RED OAK	Quercus shumardii	3" CAL. 4" CAL. 6" CAL.	PER INDUSTRY STANDARDS
3	ULM PAR	LACEBARK ELM	Ulmus parvifolia	3" CAL.	10'-12' HT., 5' SPREAD
3		EXISTING POST OAK TREES. SIZES VARY PER PLAN. CONTRACTOR TO PROTECT IN PLACE			

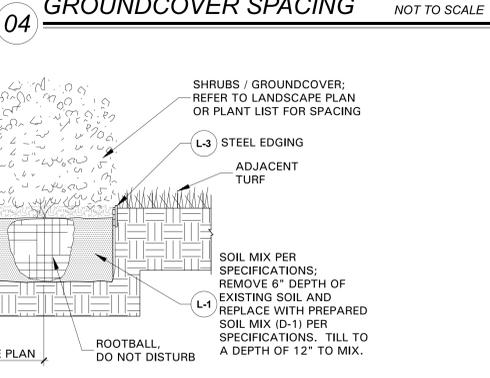
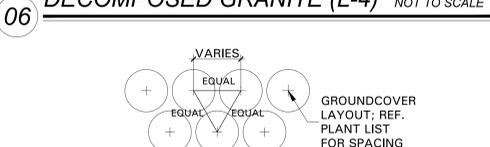
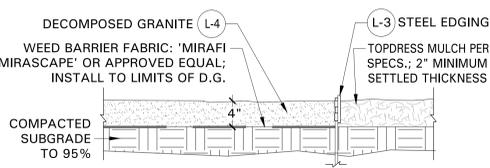
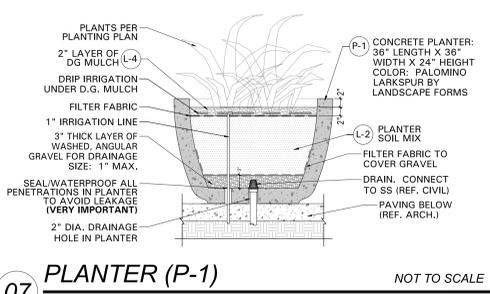
NOTE: REF. PLAN FOR NEW LIVE OAK AND RED OAK CALIPER SIZES

**ORNAMENTAL TREES**

QNTY.	SYMBOL	COMMON NAME	BOTANIC NAME	SIZE	HT.
41	CUP SEM	ITALIAN CYPRESS	Cupressus sempervirens	36" BOX	10'
3	OLE EUR	MISSION OLIVE	Oleo europaea 'Mission'	36" BOX	6'
3	CHI LIN	DESERT WILLOW	Chilopsis linearis	36" BOX	6'

**SHRUBS**

QNTY.	SYMBOL	COMMON NAME	BOTANIC NAME	SIZE	HT.
62	ILE VOM	DWARF YAUPON HOLLY	Ilex vomitoria 'Compacta'	5 GAL.	24"
49	LEU FRU	COMPACT TEXAS SAGE	Leucophyllum frutescens 'Compacta'	5 GAL.	24"



**ORNAMENTAL GRASS & XERIC PLANTS**

QNTY.	SYMBOL	COMMON NAME	BOTANIC NAME	SIZE	HT.
114	NAS TEN	MEXICAN FEATHER GRASS	Nassella tenuissima	3 GAL.	18"
181	MUH CAP	PINK MUHLY GRASS	Muhlenbergia capillaris	3 GAL.	18"
10	HES PAR	RED YUCCA	Hesperaloe parvifolia	5 GAL.	24"
25	YUC FIL	COLOR GUARD YUCCA	Yucca filamentosa	5 GAL.	24"

**PERENNIALS & GROUNDCOVER PLANTS**

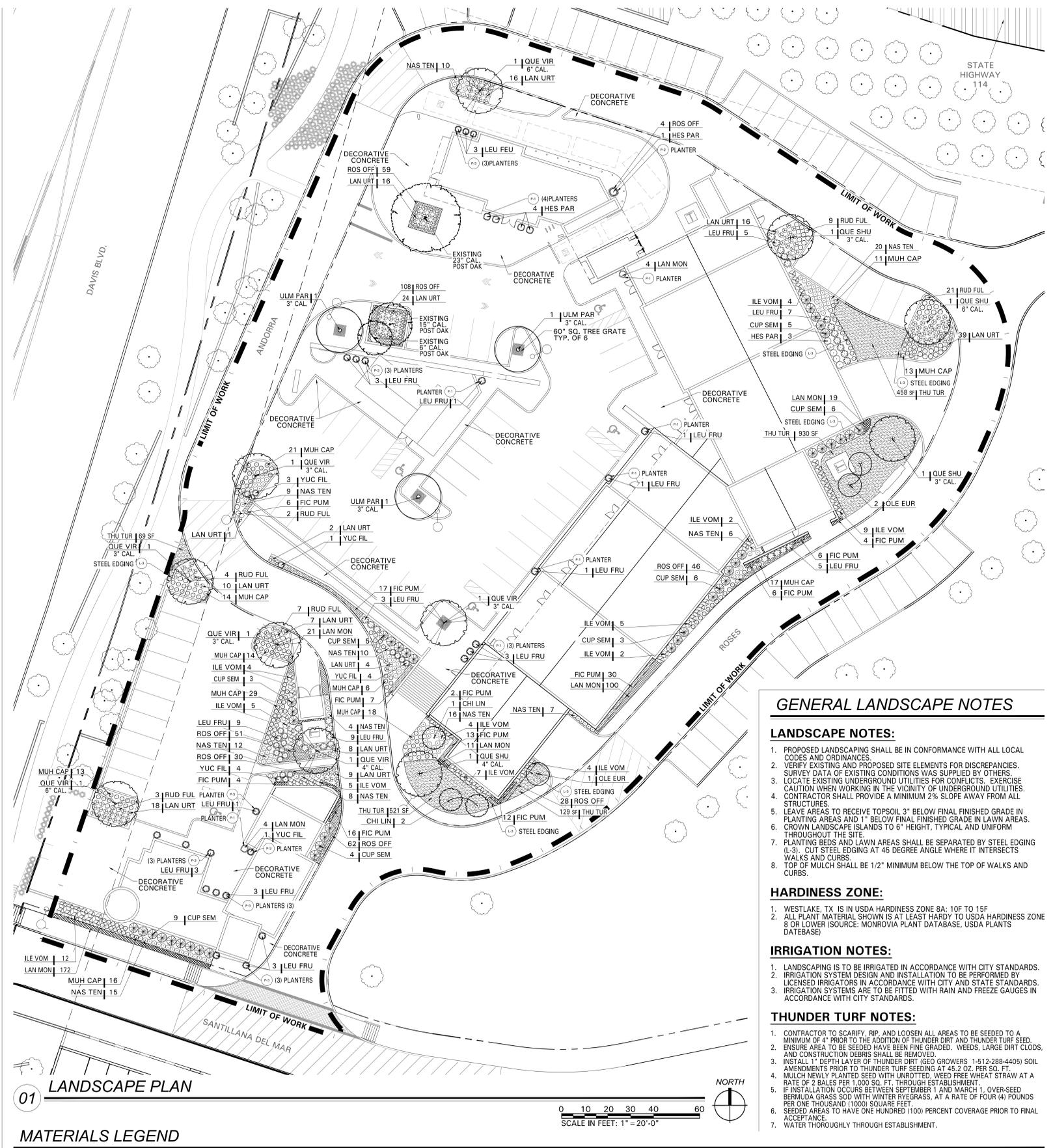
QNTY.	SYMBOL	COMMON NAME	BOTANIC NAME	SIZE	HT.
170	LAN URT	TEXAS LANTANA	Lantana urticoides	1 GAL.	12"
46	RUD FUL	BLACK-EYED SUSAN	Rudbeckia fulgida	1 GAL.	12"
375	LAN MON	TRAILING LANTANA	Lantana montevidensis	1 GAL.	6"
387	ROS OFF	TRAILING ROSEMARY	Rosmarinus officinalis	1 GAL.	6"

NOTE: LAN MON & ROS OFF TRIANGULAR SPACING - 12" O.C.

**VINES & TURF**

QNTY.	SYMBOL	COMMON NAME	BOTANIC NAME	SIZE	NOTES
153	FIC PUM	FIG VIVY	Ficus pumila	1 GAL.	BROMEN ESPALIER - CONTAINER FULL, 16.62" RANERS MIN. 18" O.C.
2,078 SF	THU TUR	THUNDER TURF			82% - BUFFALO GRASS (Bromine macrostachya) 17% - BLUE GRAMA GRASS (Boutelou curtipendula) 1% - CURB V MESQUITE (Prosopis juliflora)

NOTE: APPLY 1" CLEAN SOIL (THUNDER DIRT, SEE NOTES THIS SHEET) TO ALL TURF AREAS PRIOR TO SEEDING THUNDER TURF



**LANDSCAPE ELEMENTS:**

**L-1 PLANTING MEDIUM:**  
 PROFESSIONAL BEDDING MIX (LOCATED IN INGROUND PLANTING BEDS)  
 SUPPLIER: LIVING EARTH TECHNOLOGY COMPANY  
 CONTACT: LORA HINCHCLIFF: 214.673.3341  
 INSTALLATION: PER DETAIL 03 THIS SHEET

**L-2 PLANTING MEDIUM:**  
 PLANTER MIX (LOCATED IN ABOVE GROUND PLANTERS: P-1, P-2, P-3)  
 SUPPLIER: LIVING EARTH TECHNOLOGY COMPANY  
 CONTACT: LORA HINCHCLIFF: 214.673.3341  
 INSTALLATION: PER DETAILS 05, 07, & 08 THIS SHEET

**L-3 STEEL EDGING:**  
 FINISH/COLOR: POWDER COAT BLACK  
 SIZE: 3/16" THICK X 4" X 16' LENGTH  
 MANUFACTURER: JD RUSSELL (DURAEDGE)  
 CONTACT: 270.826.7008 800.888.6872  
 INSTALLATION: PER DETAILS 03 & 06 THIS SHEET

**L-4 DECOMPOSED GRANITE:**  
 COLOR: SUBMIT SAMPLES FOR APPROVAL  
 THICKNESS: 2" IN POTS, 4" ON GROUND SIZE: 3/8 MINUS  
 SUPPLIER: CUSTOM STONE SUPPLY CONTACT: CHAD AKIN 214-869-9048  
 NOTE: INSTALL FILTER FABRIC BETWEEN DG MULCH AND SOIL MIX BELOW  
 INSTALLATION: REF. DETAILS 05, 06, 07, & 08 THIS SHEET

**P-1 CAST CONCRETE PLANTER:**  
 MODEL: LARKSPUR 24" SIZE: 36" X 36" X 24" HT. COLOR: PALOMINO 5447 LARKSPUR BY LANDSCAPE FORMS LARA MOFFITT 269.337.1309  
 INSTALLATION: PER DETAIL 07 THIS SHEET

**P-2 CAST CONCRETE PLANTER:**  
 MODEL: LARKSPUR 30" SIZE: 48" X 48" X 30" HT. COLOR: ADOBE 61078 LARKSPUR BY LANDSCAPE FORMS LARA MOFFITT 269.337.1309  
 INSTALLATION: PER DETAIL 05 THIS SHEET

**P-3 CAST CONCRETE PLANTER:**  
 MODEL: LARKSPUR 48" SIZE: 32" X 32" X 48" HT. COLOR: TERRA COTTA 10134 LARKSPUR BY LANDSCAPE FORMS LARA MOFFITT 269.337.1309  
 INSTALLATION: PER DETAIL 08 THIS SHEET

**GENERAL LANDSCAPE NOTES**

**LANDSCAPE NOTES:**

- PROPOSED LANDSCAPING SHALL BE IN CONFORMANCE WITH ALL LOCAL CODES AND ORDINANCES.
- VERIFY EXISTING AND PROPOSED SITE ELEMENTS FOR DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- LOCATE EXISTING UNDERGROUND UTILITIES FOR CONFLICTS. EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES. CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- CROWN LANDSCAPE ISLANDS TO 6" HEIGHT, TYPICAL AND UNIFORM THROUGHOUT THE SITE.
- PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING (L-3). CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.

**HARDINESS ZONE:**

- WESTLAKE, TX IS IN USDA HARDINESS ZONE 8A: 10F TO 15F
- ALL PLANT MATERIAL SHOWN IS AT LEAST HARDY TO USDA HARDINESS ZONE 8 OR LOWER (SOURCE: MONROVIA PLANT DATABASE, USDA PLANTS DATABASE)

**IRRIGATION NOTES:**

- LANDSCAPING IS TO BE IRRIGATED IN ACCORDANCE WITH CITY STANDARDS.
- IRRIGATION SYSTEM DESIGN AND INSTALLATION TO BE PERFORMED BY LICENSED IRRIGATORS IN ACCORDANCE WITH CITY AND STATE STANDARDS.
- IRRIGATION SYSTEMS ARE TO BE FITTED WITH RAIN AND FREEZE GAUGES IN ACCORDANCE WITH CITY STANDARDS.

**THUNDER TURF NOTES:**

- CONTRACTOR TO SCARIFY, RIP, AND LOOSEN ALL AREAS TO BE SEED TO A MINIMUM OF 4" PRIOR TO THE ADDITION OF THUNDER DIRT AND THUNDER TURF SEED.
- ENSURE AREA TO BE SEED TO HAVE BEEN FINE GRADED, WEEDS, LARGE DIRT CLODS, AND CONSTRUCTION DEBRIS SHALL BE REMOVED.
- INSTALL 1" DEEP LAYER OF THUNDER DIRT (GEO GROVERS 1-512-288-4405) SOIL AMENDMENTS PRIOR TO THUNDER TURF SEEDING AT 45.2 OZ. PER SQ. FT.
- MULCH NEWLY PLANTED SEED WITH UNROTTED, WEED FREE WHEAT STRAW AT A RATE OF 2 BALS PER 1,000 SQ. FT. THROUGH ESTABLISHMENT.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMOUDA GRASS SOD WITH WINTER YEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.
- SEEDING AREAS TO HAVE ONE HUNDRED (100) PERCENT COVERAGE PRIOR TO FINAL ACCEPTANCE.
- WATER THOROUGHLY THROUGH ESTABLISHMENT.

**GENERAL NOTES**

- THESE NOTES APPLY TO ALL SHEETS IN THIS PLAN SET.
- CONTRACTOR IS RESPONSIBLE FOR, AND MUST OBTAIN PRIOR TO CONSTRUCTION, ALL NECESSARY CONSTRUCTION PERMITS REQUIRED BY THE LOCAL MUNICIPALITY. CONTRACTOR MUST HAVE A COPY OF THE LOCAL MUNICIPALITY'S STANDARD CONSTRUCTION DETAILS ON SITE.
- EXISTING UTILITY LOCATIONS SHOWN ARE TAKEN FROM AVAILABLE RECORDS PROVIDED BY THE UTILITY OWNER AND FIELD LOCATIONS OF SURFACE APPURTENANCES. LOCATIONS SHOWN ARE GENERALLY SCHEMATIC IN NATURE AND MAY NOT ACCURATELY REFLECT THE SIZE AND LOCATION OF EACH PARTICULAR UTILITY. SOME UTILITY LINES MAY NOT BE SHOWN. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ACTUAL FIELD LOCATION AND PROTECTION OF EXISTING FACILITIES WHETHER SHOWN OR NOT. CONTRACTOR SHALL ALSO ASSUME RESPONSIBILITY FOR REPAIRS TO EXISTING FACILITIES, WHETHER SHOWN OR NOT, DAMAGED BY CONTRACTOR'S ACTIVITIES. DIFFERENCES IN HORIZONTAL OR VERTICAL LOCATION OF EXISTING UTILITIES SHALL NOT BE A BASIS FOR ADDITIONAL EXPENSE.
- ANY CONTRACTOR / SUBCONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE HIMSELF WITH THE SITE AND SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES RESULTING DIRECTLY OR INDIRECTLY FROM HIS OPERATIONS. SAID EXISTING IMPROVEMENTS SHALL INCLUDE BUT NOT BE LIMITED TO BERMS, DITCHES, FENCES, AND PLANTS. ANY REMOVAL OR DAMAGE TO EXISTING IMPROVEMENTS SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR AT HIS EXPENSE AND SHALL BE APPROVED BY THE TOWN OF WESTLAKE.
- THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL USE SILT FENCES (OR OTHER METHODS APPROVED BY THE ENGINEER AND TOWN) AS REQUIRED TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM FLOWING ONTO ADJACENT PROPERTIES. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, OR LOCAL EROSION CONSERVATION, AND SILTATION ORDINANCES. CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF PERMANENT DRAINAGE FACILITIES AND THE ESTABLISHMENT OF A STAND OF GRASS OR OTHER GROWTH TO PREVENT EROSION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND APPROVALS BEFORE CONSTRUCTION BEGINS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN NEAT AND ACCURATE CONSTRUCTION RECORD PLANS. A COPY OF THESE RECORD PLANS ARE TO BE SUBMITTED TO THE ENGINEER UPON COMPLETION OF CONSTRUCTION.
- CONTRACTOR SHALL USE ALL NECESSARY SAFETY PRECAUTIONS TO AVOID CONTACT WITH OVERHEAD AND UNDERGROUND POWER LINES. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL DIMENSIONS SHOWN ON THE PLANS AND ALL FIELD CONDITIONS THAT MAY AFFECT CONSTRUCTION.
- SHOULD DISCREPANCIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER TO OBTAIN THE ENGINEER'S CLARIFICATION BEFORE COMMENCING WITH THE CONSTRUCTION.
- CONTRACTOR TO DISPOSE OF ALL EXCESS EXCAVATION MATERIALS AS DIRECTED BY THE OWNER.
- THE CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST. CONTRACTOR SHALL CONTROL DUST BY SPRINKLING WATER, OR BY OTHER MEANS APPROVED BY THE TOWN AND ENGINEER, AT NO ADDITIONAL COST TO THE OWNER.
- ALL EXCAVATING IS UNCLASSIFIED AND SHALL INCLUDE ALL MATERIALS ENCOUNTERED. UNUSABLE EXCAVATED MATERIAL AND ALL WASTE RESULTING FROM SITE CLEARING AND GRUBBING SHALL BE DISPOSED OF OFF SITE BY THE CONTRACTOR AT HIS EXPENSE.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY ENGINEERING AND SURVEYING FOR LINE AND GRADE CONTROL POINTS RELATED TO EARTHWORK.
- THE CONTRACTOR SHALL SALVAGE AND PROTECT ALL EXISTING POWER POLES, SIGNS, MANHOLES, TELEPHONE RISERS, WATER VALVES, ETC. DURING ALL CONSTRUCTION PHASES.
- BACKFILL SHALL BE FREE FLOWING, FREE OF ROCKS AND LARGE CLODS. BACKFILL SHALL BE PLACED IN 6 TO 9 INCH LIFTS AT OR ABOVE OPTIMUM MOISTURE AND MECHANICALLY COMPACTED TO 95 PERCENT STANDARD PROCTOR FOR ALL UTILITIES.
- ALL PROPOSED GRADING WHERE ANY BUILDINGS MAY POTENTIALLY BE CONSTRUCTED SHALL BE AT OR ABOVE OPTIMUM MOISTURE AND MECHANICALLY COMPACTED TO 95 PERCENT STANDARD PROCTOR. ALL OTHER GRADING SHALL BE AT OR ABOVE OPTIMUM MOISTURE AND MECHANICALLY COMPACTED TO 90 PERCENT STANDARD PROCTOR. CONTRACTOR WILL HAVE TO COORDINATE WITH THE UTILITY COMPANIES FOR ANY REQUIRED UTILITY ADJUSTMENTS AND / OR RELOCATIONS.
- EROSION CONTROL DEVICES AS SHOWN ON THE GRADING AND EROSION CONTROL PLANS FOR THE PROJECT SHALL BE INSTALLED PRIOR TO THE START OF LAND DISTURBING ACTIVITIES ON THE PROJECT.
- ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THE PROJECT. CHANGES ARE TO BE APPROVED BEFORE CONSTRUCTION BY THE DESIGN ENGINEER AND THE TOWN OF WESTLAKE.
- IF THE EROSION CONTROL PLAN AS APPROVED CANNOT CONTROL EROSION AND OFF-SITE SEDIMENTATION FROM THE PROJECT, THE EROSION CONTROL PLAN WILL BE REQUIRED TO BE REVISED AND / OR ADDITIONAL EROSION CONTROL DEVICES WILL BE REQUIRED ON-SITE.
- IF OFF-SITE BORROW OR SPOILS SITES ARE USED IN CONJUNCTION WITH THIS PROJECT, THIS INFORMATION SHALL BE DISCLOSED AND SHOWN ON THE EROSION CONTROL PLAN. OFFSITE BORROW AND SPOILS AREAS ARE CONSIDERED PART OF THE PROJECT SITE AND THEREFORE SHALL COMPLY WITH THE TOWN OF WESTLAKE EROSION CONTROL REQUIREMENTS. THESE AREAS SHALL BE STABILIZED WITH PERMANENT GROUND COVER PRIOR TO FINAL APPROVAL OF THE PROJECT.
- THE CONTRACTOR SHALL ABIDE BY ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS GOVERNING EXCAVATION. THE CONTRACTOR SHALL PROVIDE DETAILED PLANS AND SPECIFICATIONS FOR TRENCH SAFETY SYSTEMS THAT COMPLY WITH APPLICABLE LAWS GOVERNING EXCAVATION. THESE PLANS SHALL BE SEALED BY AN ENGINEER EXPERIENCED IN THE DESIGN OF TRENCH SAFETY SYSTEMS AND LICENSED BY THE STATE OF TEXAS. SUBMIT PLAN TO THE OWNER PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL ASPECTS OF WORK RELATED TO EXCAVATION.
- THE CONTRACTOR SHALL COORDINATE OPERATION OF ALL EXISTING VALVES WITH THE TOWN OF WESTLAKE. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE TRENCH SAFETY DURING ALL PHASES OF CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS SHOWN INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF GRATE INLETS AND ALL UTILITIES CROSSING THE STORM SEWER.
- THE SITE UTILITY CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE STORM SEWER. THE TOWN OF WESTLAKE SHALL INSPECT ALL PUBLIC IMPROVEMENTS.
- THE CONTRACTOR'S BID PRICE SHALL INCLUDE ALL INSPECTION FEES. AS AN ALTERNATE, THE OWNER RESERVES THE RIGHT TO PAY THE INSPECTION FEES DIRECTLY TO THE TOWN. CONSTRUCTION STAKING TO BE PROVIDED BY THE CONTRACTOR, UNLESS OTHERWISE AGREED TO BY THE OWNER.
- THESE PLANS DO NOT EXTEND TO OR INCLUDE DESIGN OR SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR IS ITS EMPLOYEES, AGENTS, OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEM THAT MAY NOW OR HEREAFTER BE INCORPORATED IN THESE PLANS.
- SEEDING SHALL BE BROADCAST SEEDING IN ACCORDANCE WITH NCTCOG SPECIFICATIONS ITEM 3.10 "SEEDING".
- FERTILIZER SHALL BE IN ACCORDANCE WITH NCTCOG SPECIFICATIONS ITEM 3.11 "FERTILIZER".
- WATER, SEWER, & DUCT BANK WILL HAVE DETECTOR TAPE INSTALLED BETWEEN EMBEDMENT AND NATIVE BACKFILL.
- THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE, AND MATERIAL OF ALL UTILITIES AFFECTED BY CONSTRUCTION PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL CONTACT AND COORDINATE WITH ALL AFFECTED UTILITIES 48 HOURS PRIOR TO CONSTRUCTION. DIG TESS 1-800-344-8377
- CONTRACTOR SHALL LOCATE AND ADJUST EXISTING UTILITY MANHOLE LIDS, CLEANOUTS, WATER VALVES AND OTHER SURFACE APPURTENANCES AS REQUIRED FOR NEW CONSTRUCTION. CONTRACTOR SHALL COORDINATE UTILITY ADJUSTMENTS WITH OTHER DISCIPLINES AND THE APPROPRIATE UTILITY AGENCIES AND PROVIDE FOR ALL FEES FOR PERMITS, CONNECTIONS, INSPECTIONS, ETC. THESE ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO THE CONSTRUCTION CONTRACT.
- THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY MONUMENTATION AND PRIMARY CONTROL. ANY SUCH POINTS WHICH THE CONTRACTOR BELIEVES WILL BE DESTROYED SHALL HAVE OFFSET POINTS ESTABLISHED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY MONUMENTATION DESTROYED BY THE CONTRACTOR SHALL BE REESTABLISHED AT HIS EXPENSE.
- BARRICADING AND TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL CONFORM TO THE LATEST EDITION OF THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", PART VI IN PARTICULAR. TRAFFIC FLOW AND ACCESS SHALL BE MAINTAINED DURING ALL PHASES OF THE CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TRAFFIC SAFETY MEASURES FOR WORK ON PROJECT.
- ONSITE PLANIMETRIC AND TOPOGRAPHIC MAPPING TAKEN FROM DATA PROVIDED BY G&A CONSULTANTS CONFIRMED BY BROWN AND GAY ENGINEERS IN JULY 2014..
- ANY DAMAGES THAT MAY OCCUR TO REAL PROPERTY OR EXISTING IMPROVEMENTS SHALL BE RESTORED BY THE CONTRACTOR TO AT LEAST THE SAME CONDITION THAT THE REAL PROPERTY OR EXISTING IMPROVEMENTS WERE IN PRIOR TO THE DAMAGES. THIS RESTORATION SHALL BE SUBJECT TO THE OWNER'S APPROVAL; MOREOVER, THIS RESTORATION SHALL NOT BE A BASIS FOR ADDITIONAL COMPENSATION TO THE CONTRACTOR. RESTORATION SHALL INCLUDE, BUT NOT BE LIMITED TO, REGRASSING, REVEGETATION, REPLACING FENCES, REPLACING TREES, ETC.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO:
  - PREVENT ANY DAMAGE TO PRIVATE PROPERTY AND PROPERTY OWNER'S POLES, FENCES, SHRUBS, ETC.
  - PROVIDE ACCESS TO ALL DRIVES DURING CONSTRUCTION.
  - PROTECT ALL UNDERGROUND UTILITIES TO REMAIN IN SERVICE.
  - NOTIFY ALL UTILITY COMPANIES AND VERIFY LOCATION OF ALL UTILITIES PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN UTILITY SERVICES AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR KEEPING SIDEWALKS ADJACENT TO THE PROJECT FREE OF MUD AND DEBRIS FROM THE CONSTRUCTION.
- THE CONTRACTOR SHALL REMOVE ALL SURPLUS MATERIAL FROM THE PROJECT AREA UNLESS INSTRUCTED DIFFERENTLY BY OWNER OR ENGINEER. THIS WORK SHALL BE SUBSIDIARY TO THE CONTRACT AND IS NOT A SEPARATE PAY ITEM.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION, INSPECTION, AND TESTING AS REQUIRED BY THE OWNER AND/OR THE LOCAL MUNICIPALITY.
- ALL WORK IN THE CITY RIGHT-OF-WAY, PROPERTY AND EASEMENTS SHALL BE CONSIDERED PUBLIC. ALL OTHER WORK SHALL BE CONSIDERED PRIVATE.

**TOWN OF WESTLAKE GENERAL NOTES**

- THE APPLICABLE STANDARDS AND SPECIFICATIONS, THE CURRENT VERSION OF THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" PUBLISHED BY N.C.T.C.O.G. AND THE TOWN OF WESTLAKE ENGINEERING STANDARDS SHALL APPLY. IN THE EVENT OF A CONFLICT, TOWN OF WESTLAKE STANDARDS SHALL GOVERN. THE CONTRACTOR SHALL FOLLOW ALL APPLICABLE TCEQ, A.W.W.A., AND A.S.T.M. REGULATIONS.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF WESTLAKE. THE TOWN RESERVES THE RIGHT TO ACCEPT OR REJECT MATERIAL OR WORKMANSHIP THAT DOES NOT CONFORM TO THE STANDARDS AND SPECIFICATION OF THE TOWN.
- ALL DISTURBED AREAS OFF-SITE SHALL BE SEEDED OR SODDED AS SHOWN ON THE CONSTRUCTION PLANS.
- THE CONTRACTOR SHALL HAVE ONE (1) APPROVED SET OF CONSTRUCTION PLANS ON THE JOB SITE DURING CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE TOWN OF WESTLAKE AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO COMMENCING CONSTRUCTION.
- ALL PAVING AND UTILITIES SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH THE TOWN OF WESTLAKE SPECIFICATIONS.
- AN ENGINEERED TRENCH SAFETY PLAN IS REQUIRED WHEN THE TRENCH DEPTH EXCEEDS 5'.
- BASED ON OUR UNDERSTANDING AND THE INFORMATION PROVIDED BY THE TOWN, THE WATER AND SANITARY SEWER LINES COMPLY WITH THE WATER AND SANITARY SEWER MASTER PLANS FOR THE TOWN OF WESTLAKE.

**WATER NOTES:**

- CONTRACTOR SHALL PURCHASE A COPIE(S) OF THE TOWN OF WESTLAKE ENGINEERING STANDARDS, LATEST EDITION, AND FOLLOW SAID STANDARDS DURING CONSTRUCTION.
- ALL WATER LINES, FITTINGS, AND APPURTENANCES SHALL BE IN ACCORDANCE WITH THE TOWN OF WESTLAKE ENGINEERING STANDARDS, LATEST EDITION. ALL WATER SERVICE CONNECTIONS TO BE FORD COMPRESSION FITTINGS. ALL BENDS TO HAVE RETAINER FITTINGS (MEGA-LUG). USE DOMESTIC DUCTILE IRON FITTINGS ONLY.
- ALL FIRE HYDRANTS SHALL HAVE ONE (1) HYDRA-STORZ CONNECTION AND TWO (2) 2.5" HOSE NOZZLES, SHALL HAVE A MINIMUM MAIN BARREL VALVE OPENING OF 5.25", AND SHALL BE PLACED ON MAINS OF NOT LESS THAN 6" IN DIAMETER. ALL FIRE HYDRANTS ARE TO BE PAINTED PER ARTICLE IV, SECTION 2.H.5 OF THE TOWN OF WESTLAKE ENGINEERING STANDARDS AND AGREED TO BY THE TOWN.
- UTILITY CONTRACTOR SHALL PLACE APPROPRIATE LOCATION MARKS ON THE CURBS PER THE TOWN OF WESTLAKE ENGINEERING STANDARDS.
- ALL WATER MAINS SHALL BE PVC AWWA-C900, DR18, CLASS 150 UNLESS NOTED OTHERWISE.
- TOP OF WATER MAIN SHALL BE A MINIMUM OF 48" BELOW THE TOP OF CURB OR 48" BELOW FINISHED GRADE. METALLIC DETECTOR TAPE WILL BE USED. VALVES TO BE EXTENDED TO WITHIN 1" OF GROUND IF MORE THAN 48".
- FIRE HYDRANTS SHALL BE LOCATED 6' BEHIND THE BACK OF CURB (MIN).
- CONTRACTOR SHALL CLEAN THE WATER MAIN BY INSERTION OF "POLY PIGS" AT DESIGNATED LOCATIONS. COST FOR "POLY PIG" CLEANING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL DOMESTIC WATER SERVICES SHALL BE 2" CLASS 200 POLYETHYLENE.
- CORPORATION STOPS SHALL BE FULL OPEN PRIOR TO BACKFILL.
- CURB STOPS SHALL BE TESTED FOR FULL FLOW WHEN THE SYSTEM IS PRESSURE TESTED.
- METER BOXES SHALL BE FURNISHED BY THE CONTRACTOR AND LOCATED 6' BEHIND THE CURB.
- WATER MAINS TO BE LOCATED PER THE PLANS.
- METER BOXES SHALL BE ADJUSTED TO FINISH GRADE AFTER PAVING CONTRACTOR COMPLETES THE BACKFILL OF CURB.
- EXTEND SAMPLING POINT 2' ABOVE EXISTING GRADE AND END WITH A 1" CURB STOP. SAMPLING POINTS WILL BE DETERMINED BY THE CONSTRUCTION INSPECTOR.
- PIPE SHALL BE TESTED AT 150 PSI FOR FOUR (4) HOURS.
- CHLORINATE WATER LINES AT 500 PPM FOR FORTY-EIGHT (48) HOURS. CHLORINATION IS ACCEPTABLE DURING THE PRESSURE TEST.
- FLUSHING AND CHLORINATION SHALL BE COORDINATED WITH THE CONSTRUCTION INSPECTOR.
- ALL TAPS ON EXISTING MAINS SHALL BE WET TAPS. NO SIZE-ON-SIZE TAPS ALLOWED.
- EXISTING VALVES SHALL BE OPERATED BY CITY PERSONNEL ONLY. ONCE THE NEW WATER LINE IS ACTIVATED AND PASSES BACTERIOLOGICAL TESTING, THE VALVES MAY BE OPERATED BY CITY PERSONNEL ONLY.

**SANITARY SEWER NOTES:**

- CONTRACTOR SHALL PURCHASE A COPY OF THE TOWN OF WESTLAKE ENGINEERING STANDARDS, LATEST EDITION, AND FOLLOW SAID STANDARDS DURING CONSTRUCTION.
- ALL SANITARY SEWER LINES, FITTINGS, AND APPURTENANCES SHALL BE IN ACCORDANCE WITH THE TOWN OF WESTLAKE ENGINEERING STANDARDS, LATEST EDITION.
- THE SANITARY SEWER SERVICE LINE SHALL BE EXTENDED A MINIMUM OF 6 FEET PAST THE PROPERTY LINE.
- SERVICE LINES SHALL BE 4" PVC AND SHALL BE PLUGGED AND PRESSURE TESTED WITH THE MAIN LINE.
- SERVICE LINES ARE TO BE LOCATED AT THE DOWNHILL SIDE OF THE LOT.
- THE TOP OF SEWER PIPE SHALL BE A MINIMUM OF 48" BELOW FINISHED GRADE.
- THE CONTRACTOR IS REQUIRED TO PULL A MANDREL THROUGH SEWER PIPE.
- A TV INSPECTION OF THE SANITARY SEWER LINES IS REQUIRED.
- THE SEWER PIPE WILL BE PRESSURE TESTED IN ACCORDANCE WITH TNRC LOW PRESSURE AIR TEST (SECTION 317.2 (c)(4)(B)). REFER TO MANHOLE DETAIL FOR ADDITIONAL TESTING REQUIREMENTS.
- ENGINEERED CASING IS REQUIRED WHEN CROSSING STREETS LARGER THAN COLLECTORS.
- NO SERVICES ALLOWED ON CLEANOUT STACK.
- ELIMINATE DISCHARGE INTO THE EXISTING SEWER SYSTEM BY PLUGGING LINE AT CONNECTION. THE CONTRACTOR WILL BE BILLED FOR THE DISCHARGE DURING CONSTRUCTION.
- UTILITY CONTRACTOR SHALL PLACE APPROPRIATE LOCATION MARKS ON THE CURBS PER THE TOWN OF WESTLAKE ENGINEERING STANDARDS, LATEST EDITION.
- PIPE MATERIAL FOR WASTE WATER LINES SHALL CONFORM TO THE NOTES SHOWN ON THIS DRAWING AND TO THE REQUIREMENTS OF THE PROJECT SPECIFICATIONS. SANITARY SEWER LINE SHALL BE SDR-35 PVC IF DEPTH OF LINE IS 10' OR LESS AND SDR-26 IF DEPTH OF LINE IS GREATER THAN 10'. EMBED SEWER PIPE IN ACCORDANCE WITH LOCAL MUNICIPALITY DESIGN STANDARDS.
- WATER AND WASTEWATER LINES SHALL BE LOCATED A MINIMUM OF 9' APART (CLEAR DISTANCE). WHEN SEPARATION CANNOT BE MAINTAINED, SANITARY SEWER SHALL EITHER BE ENCASED IN CONCRETE OR UPGRADED TO PRESSURE PIPE (MIN. SDR 26).

**STORM DRAIN NOTES:**

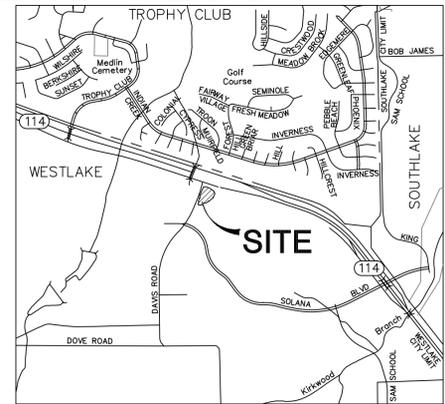
- ALL CULVERT HEADWALLS AND INLETS TO HAVE STONE CLADDING.
- NO PRECAST CURB INLETS.
- ALL MATERIALS AND WORKMANSHIP FOR STORM DRAIN CONSTRUCTION SHALL CONFORM TO THE NCTCOG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION, AND THE LOCAL MUNICIPALITY REQUIREMENTS.
- CONTRACTOR SHALL MAINTAIN DRAINAGE AT ALL TIMES DURING CONSTRUCTION. PONDING OF WATER WILL NOT BE ALLOWED.
- STORM PIPE SHALL BE CLASS III REINFORCED CONCRETE PIPE (RCP) 18" AND ABOVE IN DIAMETER AND SDR-35 POLYVINYL CHLORIDE (PVC) PIPE OR HIGH DENSITY POLYETHYLENE (HDPE) BELOW 18" IN DIAMETER.

**GRADING NOTES:**

- THE CONTRACTOR SHALL ADMINISTER SPRINKLERS FOR DUST CONTROL, EARTHWORK OR BASE CONSTRUCTION AS REQUIRED OR AS DIRECTED BY THE ENGINEER IN ACCORDANCE WITH THE LOCAL MUNICIPALITY STANDARDS.
- FILL MATERIAL SHALL BE COMPACTED TO A MINIMUM 95 PERCENT OF MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST, ASTM D 698. IN CONJUNCTION WITH THE COMPACTING OPERATION, FILL MATERIAL SHALL BE BROUGHT TO A MOISTURE CONTENT RANGING FROM +2 PERCENT POINTS ABOVE OPTIMUM TO +6 PERCENTAGE POINTS ABOVE OPTIMUM +2 TO +6.

**PAVING NOTES:**

- CONTRACTOR'S WORK SHALL INCLUDE PAVEMENT REMOVAL AND DISPOSAL REQUIRED FOR NEW WALK, DRIVE, CURB, GUTTER AND OTHER PAVING FEATURES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION, INSPECTION AND TESTING REQUIRED BY THE OWNER AND/OR THE LOCAL MUNICIPALITY.
- PAVING SECTIONS SHALL BE SAWCUT IN 15' X 15' SQUARES.
- PAVEMENT REMOVAL AND REPAIR SHALL CONFORM TO THE LOCAL MUNICIPALITY REQUIREMENTS. CONTRACTOR SHALL MAKE AN EFFORT TO PROJECT CONCRETE AND/OR ASPHALT EDGES.
- CONCRETE PAVING JOINTS SHALL BE CONSTRUCTED AS RECOMMENDED IN THE GEOTECHNICAL REPORT NOTED BELOW.
- SITE PAVING AND PAVEMENT SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT NO. MS153490R2 PREPARED BY EW AND DATED SEPTEMBER, 2015



**VICINITY MAP**  
(NOT TO SCALE)

**OVERALL LEGEND**

- PROPOSED FIRE HYDRANT
- PROPOSED SANITARY MANHOLE
- PROPOSED STORM INLET
- PROPOSED STREET LIGHT
- EXISTING TRANSFORMER
- EXISTING STREET LIGHT
- EXISTING GAS METER
- EXISTING ELECTRIC MANHOLE
- EXISTING SIGN
- EXISTING FIRE HYDRANT

**BGE**  
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**DEVELOPER**  
**CENTURION AMERICAN**  
1800 Valley View Lane, Suite 300  
Farmers Branch, TX 75234  
Contact: Michael Beaty  
Tel: 214-287-9009



CENTURION AMERICAN

**DAVIS/114 CORNER AT WESTLAKE ENTRADA**

BEING 1.733 ACRES TOWN OF WESTLAKE, TARRANT COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE ENGINEER:  
BROWN & GAY ENGINEERS, INC.  
TEXAS REGISTERED ENGINEERING FIRM F-1046  
WILLIAM R. JANNEY, P.E.  
TEXAS REGISTRATION NO. 108663  
JANUARY 14, 2016

**CAUTION !!!**  
Contractor to Verify exact location & Depth of Exist Facilities Prior to any Construction Activities

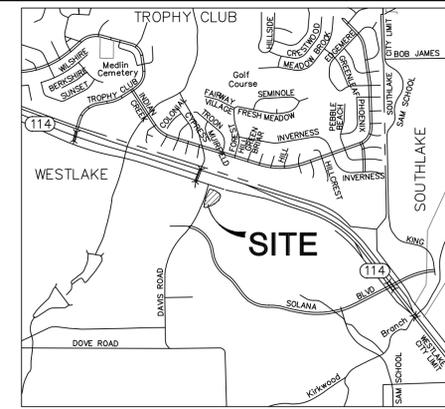
**CAUTION !!!**  
CONTACT: 1-800-DIG-TESS  
48 HOURS PRIOR TO CONSTRUCTION

REVISIONS		
REV. NO.	DATE	DESCRIPTION

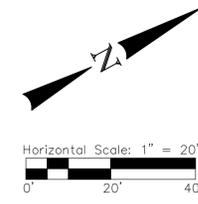
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CHECKED BY:  
DATE:  
PROJECT NUMBER:

Sheet No.  
**GENERAL NOTES**

**DAVIS BLVD**  
(VARIABLE WIDTH R.O.W.)



**VICINITY MAP**  
(NOT TO SCALE)



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CENTURION AMERICAN  
**DAVIS/114 PD SITE PLAN PACKAGE**  
**DAVIS/114 CORNER**  
**AT WESTLAKE ENTRADA**  
BEING 1.733 ACRES  
TOWN OF WESTLAKE, TARRANT COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE ENGINEER:  
BROWN & GAY ENGINEERS, INC.  
TEXAS REGISTERED ENGINEERING FIRM F-1046  
WILLIAM R. JANNEY, P.E.  
TEXAS REGISTRATION NO. 108663  
JANUARY 14, 2016

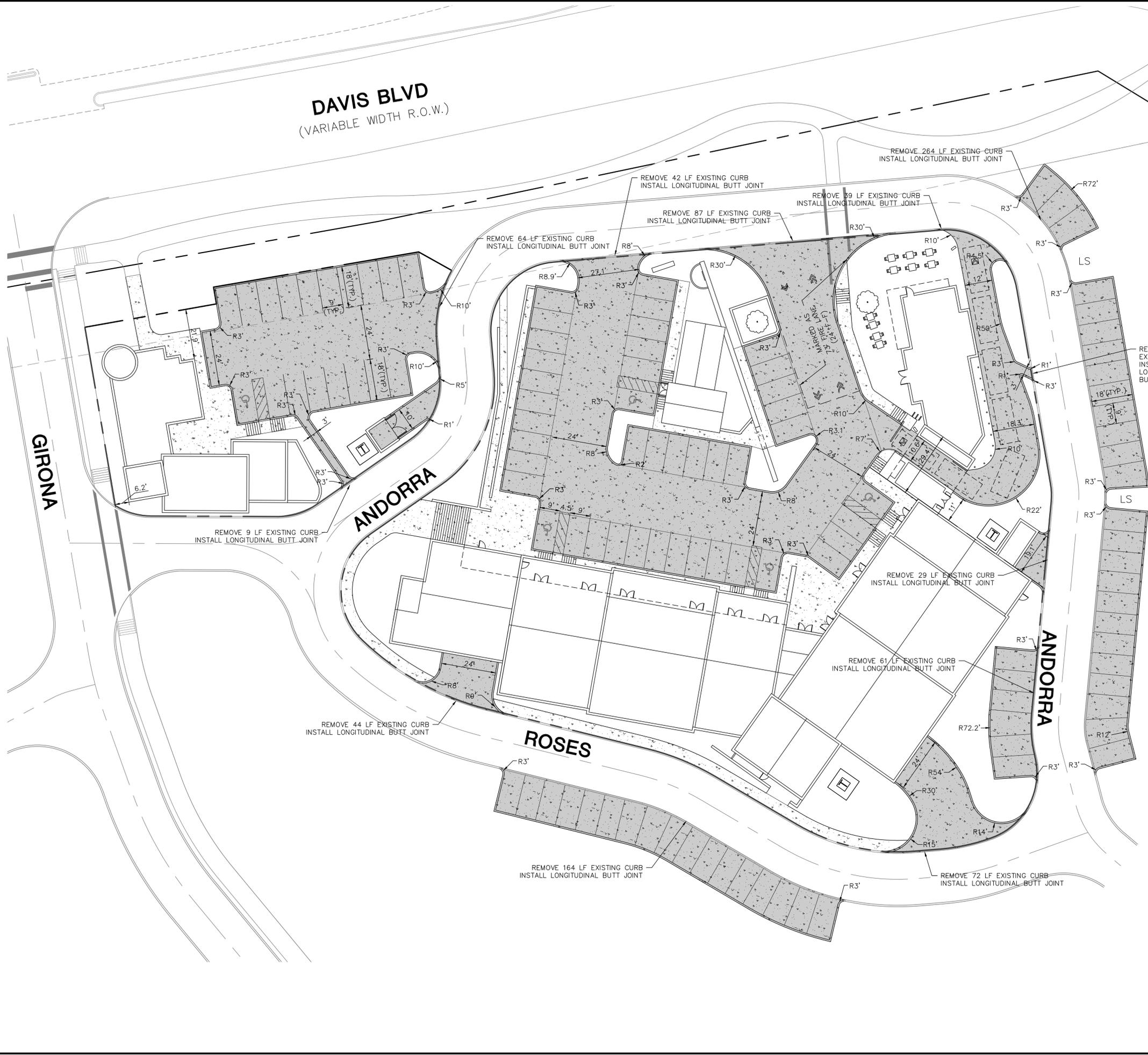
**CAUTION !!**  
Contractor to Verify exact location & Depth of Exist Facilities Prior to any Construction Activities

**CAUTION !!!**  
CONTACT: 1-800-DIG-TESS  
48 HOURS PRIOR TO CONSTRUCTION

REVISIONS		
REV NO.	DATE	DESCRIPTION

DRAWN BY:  
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DATE:  
PROJECT NUMBER:

Sheet No.  
**PAVING PLAN**  
**C5**



REMOVE 7 LF EXISTING CURB  
INSTALL LONGITUDINAL BUTT JOINT

REMOVE 264 LF EXISTING CURB  
INSTALL LONGITUDINAL BUTT JOINT

REMOVE 39 LF EXISTING CURB  
INSTALL LONGITUDINAL BUTT JOINT

REMOVE 42 LF EXISTING CURB  
INSTALL LONGITUDINAL BUTT JOINT

REMOVE 87 LF EXISTING CURB  
INSTALL LONGITUDINAL BUTT JOINT

REMOVE 64 LF EXISTING CURB  
INSTALL LONGITUDINAL BUTT JOINT

REMOVE 9 LF EXISTING CURB  
INSTALL LONGITUDINAL BUTT JOINT

REMOVE 29 LF EXISTING CURB  
INSTALL LONGITUDINAL BUTT JOINT

REMOVE 61 LF EXISTING CURB  
INSTALL LONGITUDINAL BUTT JOINT

REMOVE 44 LF EXISTING CURB  
INSTALL LONGITUDINAL BUTT JOINT

REMOVE 164 LF EXISTING CURB  
INSTALL LONGITUDINAL BUTT JOINT

REMOVE 72 LF EXISTING CURB  
INSTALL LONGITUDINAL BUTT JOINT

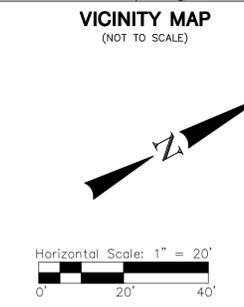
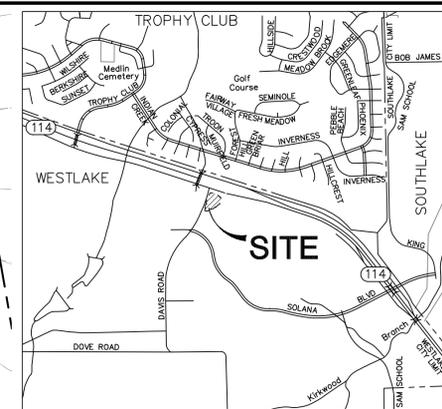
**PAVEMENT LEGEND**  
(SEE GEOTECHNICAL REPORT)

- CONCRETE PAVERS ABOVE 3/4" OF SAND AND 5.5" 3,600 PSI CONCRETE W/ #3 BARS ON 18" O.C.E.W. ON 6" OF LIME/CEMENT TREATED STABILIZED SUBGRADE. SEE ARCH. PLANS FOR PAVERS TYPE AND LOCATION
- PROPOSED SIDEWALK 4" 3,500 PSI CONC. PAVEMENT W/ #3 BARS @ 24" O.C.E.W ON 6" STABILIZED SUBGRADE

- NOTES:**
- ALL WESTLAKE ENTRADA INFRASTRUCTURE ASSUMED AS EXISTING FOR THIS PLAN SET
  - ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED

- TBM1 - Cut in median nose located ~ 700 feet southeast of intersection of Davis Blvd. and Dove Road. Elev. 668.96
- TBM2 - Cut in median nose at intersection of Davis Blvd. and Bull Way. Elev. 679.58
- TBM3 - Cut in median nose at intersection of Davis Blvd. and Bear Way. Elev. 683.26
- TBM4 - Cut in median nose located ~600 feet east of intersection of Davis Blvd. and Dove Road. Elev. 648.47

BROWN & GAY ENGINEERS, INC. CA Projects\LAND - SITE - FRISCO\Biscard Gaba\Westlake\_Entrada\_Site\_Plan\DWG\114\_Corner\114\_Corner.dwg Feb 04, 2016 - 11:51pm bruceken



NOTE:  
 1) ALL WESTLAKE ENTRADA INFRASTRUCTURE ASSUMED AS EXISTING FOR THIS PLAN SET.  
 2) EXISTING INLET ON ANDORRA & BYPASS INLET ON GIRONA HAVE CAPACITY FOR SURFACE RUNOFF

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- TBM4 - "C" Cut in median nose located ~600 feet east of intersection of Davis Blvd. and Dove Road. Elev. 648.47

Table 1: Drainage Areas

Area Designation	Area (sq ft)	Area (Acres)	Coeff C	Asphalt/Conc. 0.95	Commercial 0.7	Single Family 0.65	Grass 0.35	Time of Concentration Tc	5 YR Intensity (in/hr)	5 YR FLOW (CFS)	100 YR INTENSITY (IN/HR)	100 YR FLOW (CFS)
A1	1,193	0.027	0.70		0.027			10	6.82	0.1	11.55	0.2
A2	12,804	0.294	0.70		0.294			10	6.82	1.4	11.55	2.4
A3	34,690	0.796	0.70		0.796			10	6.82	3.8	11.55	6.4
A4	17,887	0.411	0.70		0.411			10	6.82	2.0	11.55	3.3
A5	8,217	0.189	0.70		0.189			10	6.82	0.9	11.55	1.5
A6	974	0.022	0.70		0.022			10	6.82	0.1	11.55	0.2
A7	5,145	0.118	0.70		0.118			10	6.82	0.6	11.55	1.0
A8	3,091	0.071	0.70		0.071			10	6.82	0.3	11.55	0.6

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**Brown & Gay Engineers, Inc.**  
 2595 Dallas Parkway, Suite 204  
 Frisco, TX 75034  
 Tel: 972-464-4800 • www.browngay.com  
 TBPE Registration No. F-1046  
 Contact: Will Janney  
 Tel: 972-464-4835  
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**CENTURION AMERICAN**

**DEVELOPER**  
**CENTURION AMERICAN**  
 1800 Valley View Lane, Suite 300  
 Farmers Branch, TX 75234  
 Contact: Michael Beaty  
 Tel: 214-287-9009

**MOORELAND**  
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 DAVIS/114 PD SITE PLAN PACKAGE  
 DAVIS/114 CORNER  
 AT WESTLAKE ENTRADA  
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 WILLIAM R. JANNEY, P.E.  
 TEXAS REGISTRATION NO. 108663  
 JANUARY 14, 2016

CAUTION !!!  
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CAUTION !!!  
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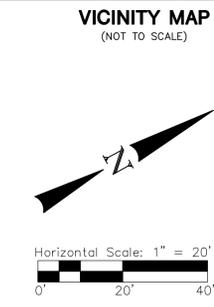
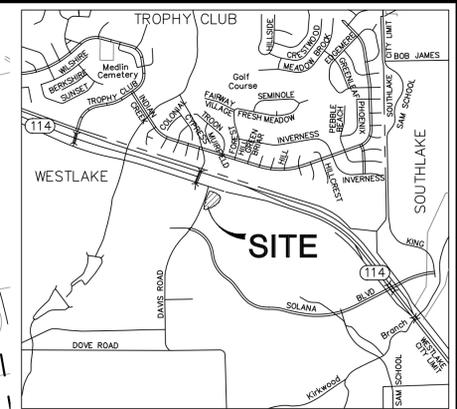
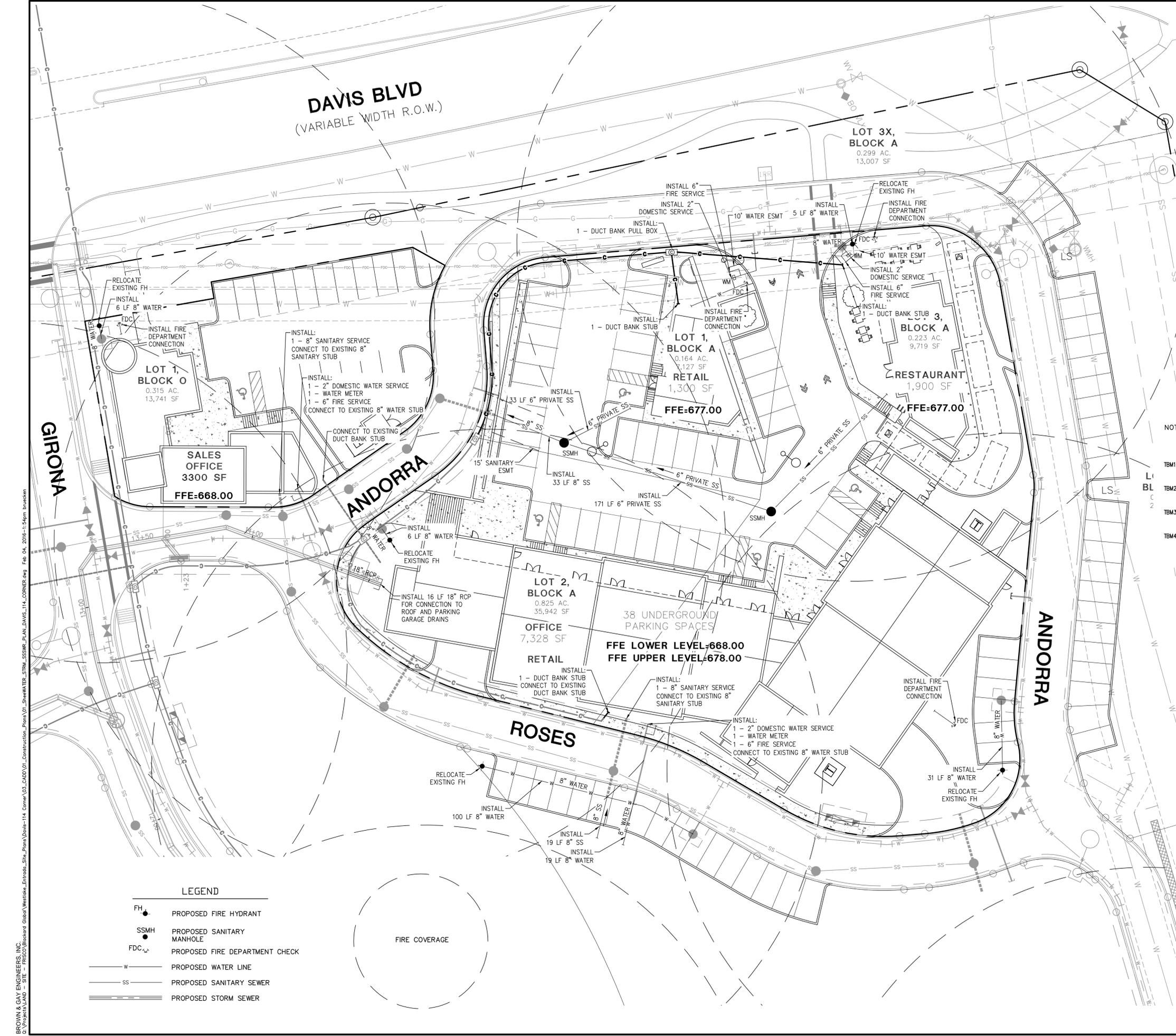
REVISIONS		
REV NO.	DATE	DESCRIPTION

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 CHECKED BY:  
 DATE:  
 PROJECT NUMBER:

Sheet No.  
**PROPOSED DRAINAGE AREA MAP**  
**C6**

BROWN & GAY ENGINEERS, INC. G:\Projects\LAND - SITE - PRE20\Brownsord Global\Westlake\_Entrada\_Site\_Plan\Davis-114\_Corner\A3\_CADD\01\_Construction\_Plans\01\_SitePlan\ROP\_DAM\_DAVIS\_114\_CORNER.dwg Feb 04, 2016 - 11:50am brucekcn





- NOTE:  
ALL WESTLAKE ENTRADA INFRASTRUCTURE ASSUMED AS EXISTING FOR THIS PLAN SET
- TBM1 - "C" Cut in median nose located ~ 700 feet southeast of intersection of Davis Blvd. and Dove Road. Elev. 668.96
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  - TBM4 - "C" Cut in median nose located ~600 feet east of intersection of Davis Blvd. and Dove Road. Elev. 648.47

**LEGEND**

FH ●	PROPOSED FIRE HYDRANT
SSMH ●	PROPOSED SANITARY MANHOLE
FDC ●	PROPOSED FIRE DEPARTMENT CHECK
— W —	PROPOSED WATER LINE
— SS —	PROPOSED SANITARY SEWER
— S —	PROPOSED STORM SEWER



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CENTURION AMERICAN  
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**DAVIS/114 CORNER  
AT WESTLAKE ENTRADA**  
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WILLIAM R. JANNEY, P.E.  
TEXAS REGISTRATION NO. 108663  
JANUARY 14, 2016

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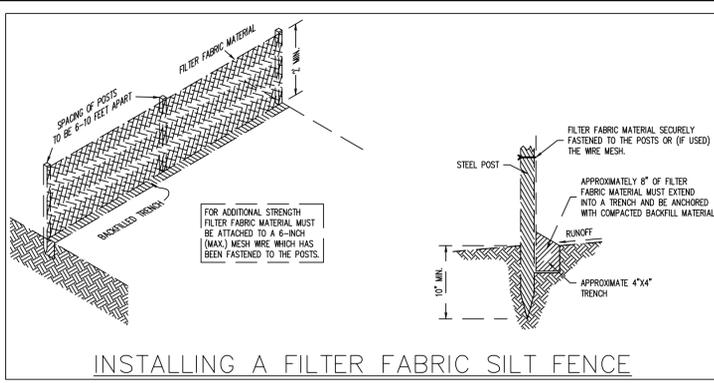
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REVISIONS		
REV NO.	DATE	DESCRIPTION

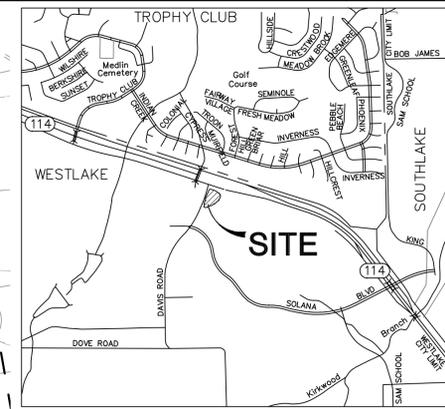
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CHECKED BY:  
DATE:  
PROJECT NUMBER:

Sheet No.  
WATER, STORM,  
DUCTBANK &  
SEWER PLAN  
**C8**

BROWN & GAY ENGINEERS, INC. C:\Projects\114\_Corner\_Davis\_Entrada\114\_Corner\_Davis\_Entrada\_Plan\114\_Corner\_Davis\_Entrada\_Plan.dwg Feb. 04, 2016 - 1:54pm brucek



INSTALLING A FILTER FABRIC SILT FENCE



VICINITY MAP  
(NOT TO SCALE)

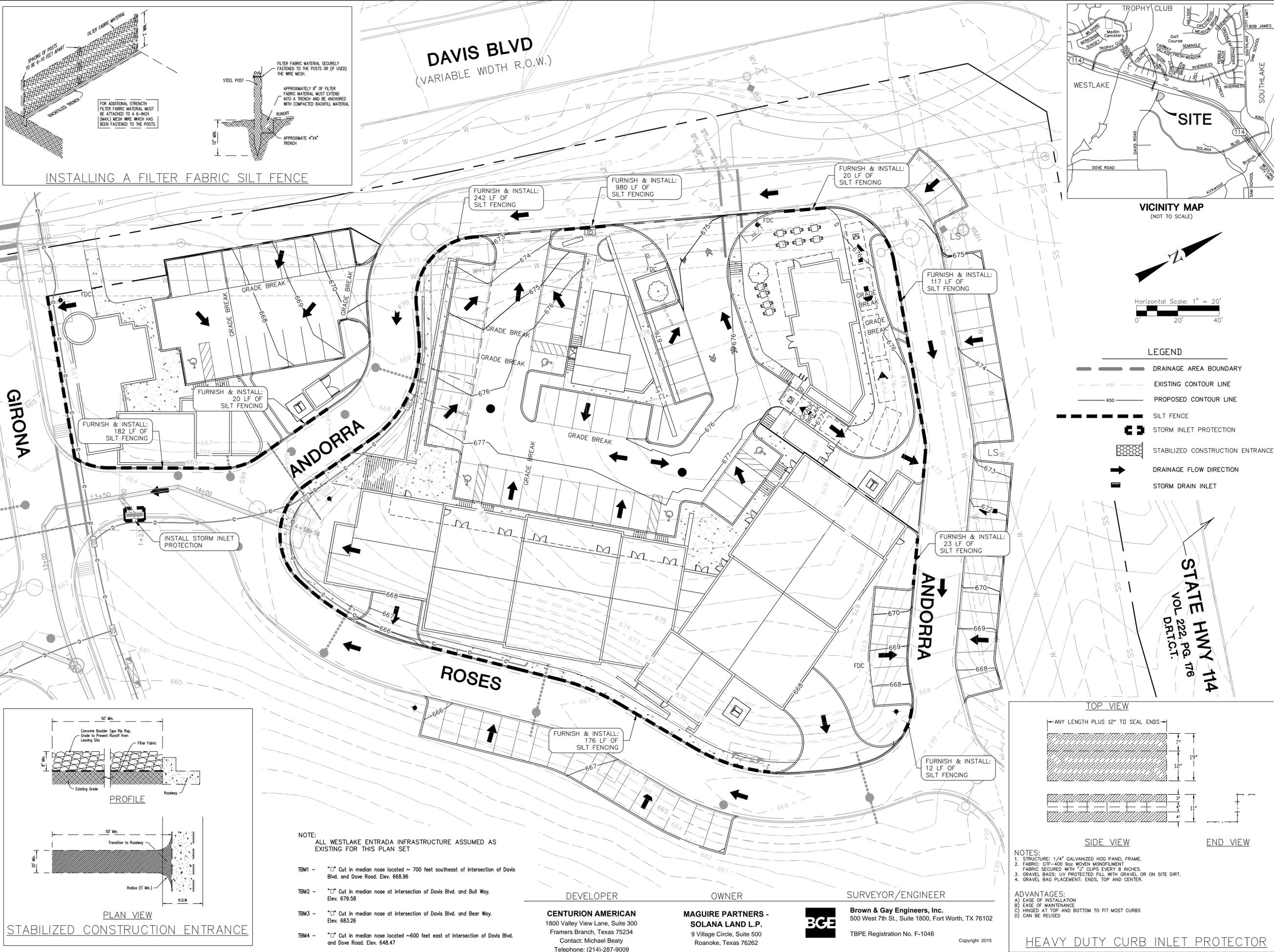


Horizontal Scale: 1" = 20'

**LEGEND**

	DRAINAGE AREA BOUNDARY
	EXISTING CONTOUR LINE
	PROPOSED CONTOUR LINE
	SILT FENCE
	STORM INLET PROTECTION
	STABILIZED CONSTRUCTION ENTRANCE
	DRAINAGE FLOW DIRECTION
	STORM DRAIN INLET

**DAVIS BLVD**  
(VARIABLE WIDTH R.O.W.)



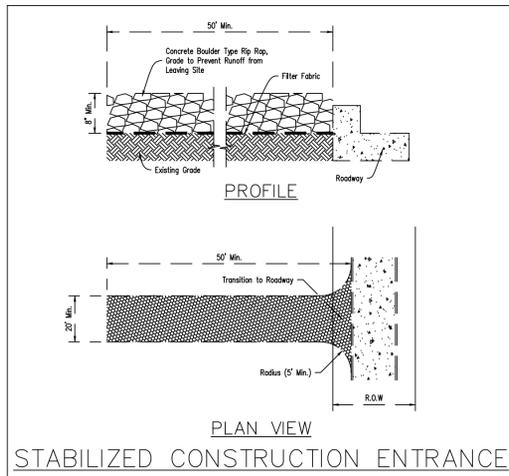
GIRONA

ANDORRA

ROSES

ANDORRA

STATE HWY 114  
VOL 222, PG. 176  
DRIC.T.



STABILIZED CONSTRUCTION ENTRANCE

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DEVELOPER

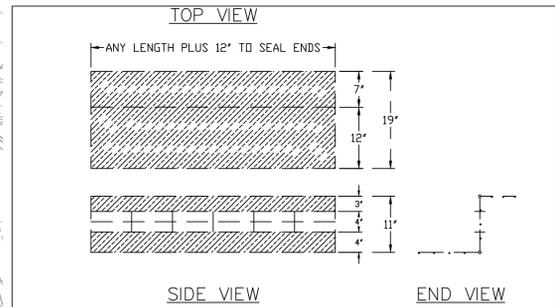
**CENTURION AMERICAN**  
1800 Valley View Lane, Suite 300  
Farmers Branch, Texas 75234  
Contact: Michael Beaty  
Telephone: (214)-287-9009

OWNER

**MAGUIRE PARTNERS - SOLANA LAND L.P.**  
9 Village Circle, Suite 500  
Roanoke, Texas 76262

SURVEYOR/ENGINEER

**BGE**  
**Brown & Gay Engineers, Inc.**  
500 West 7th St., Suite 1800, Fort Worth, TX 76102  
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- NOTES:
- STRUCTURE: 1/4" GALVANIZED HOG PANEL FRAME.
  - FABRIC: GTF-400 9oz WOVEN MONOFILAMENT
  - FABRIC SECURED WITH "J" CLIPS EVERY 8 INCHES.
  - GRAVEL BAGS: UV PROTECTED FILL WITH GRAVEL OR ON SITE DIRT.
  - GRAVEL BAG PLACEMENT: ENDS, TOP AND CENTER.
- ADVANTAGES:
- EASE OF INSTALLATION
  - EASE OF MAINTENANCE
  - HINGED AT TOP AND BOTTOM TO FIT MOST CURBS
  - CAN BE REUSED

HEAVY DUTY CURB INLET PROTECTOR

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**CENTURION AMERICAN**  
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Contact: Michael Beaty  
Tel: 214-287-9009

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**DAVIS/114 CORNER**  
**AT WESTLAKE ENTRADA**  
BEING 1.733 ACRES  
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WILLIAM R. JANNEY, P.E.  
TEXAS REGISTRATION NO. 108663  
JANUARY 14, 2016

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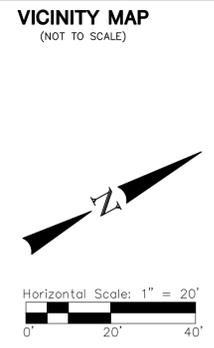
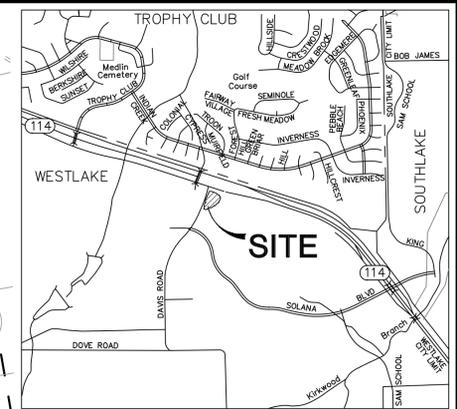
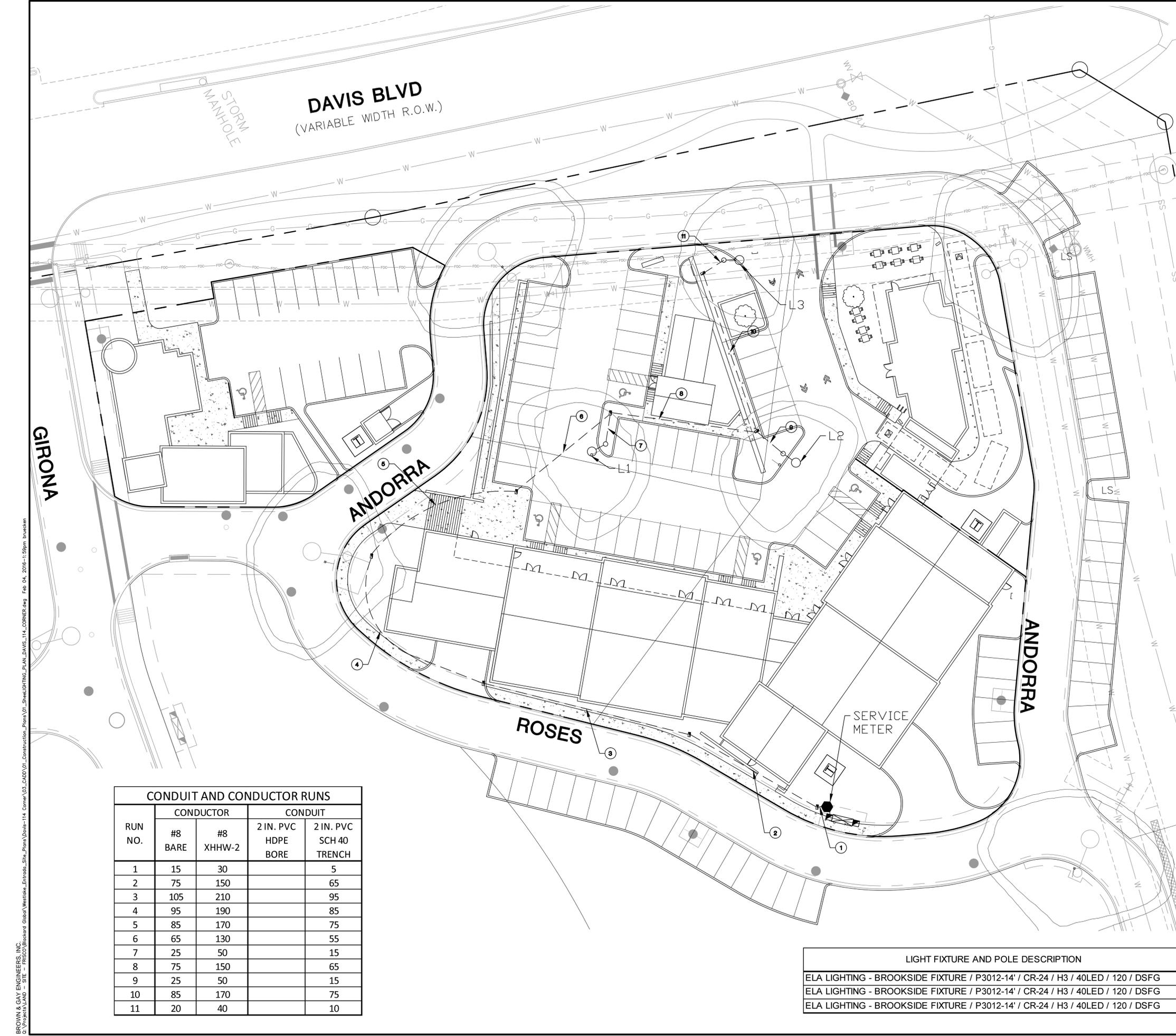
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Sheet No.  
**EROSION CONTROL PLAN**

**C9**



**LEGEND**

- PROPOSED LIGHT POLE
- PROPOSED TYPE A GROUND BOX WITH APRON
- PROPOSED CONDUIT
- TRANSFORMER (POWER SOURCE)
- SERVICE METER
- ILLUMINATED AREA (PHOTOMETRICS)  
ALL AREAS OUTSIDE OF SHAPES ARE 0 FOOT-CANDLES, THE INNER SHAPE IS AT LEAST 0.2 FOOT-CANDLES AND THE OUTER RING IS 0.1 FOOT-CANDLES.

**NOTES:**  
1. ALL WESTLAKE ENTRADA INFRASTRUCTURE ASSUMED AS EXISTING FOR THIS PLAN SET

CONDUIT AND CONDUCTOR RUNS				
RUN NO.	CONDUCTOR		CONDUIT	
	#8 BARE	#8 XHHW-2	2 IN. PVC HDPE BORE	2 IN. PVC SCH 40 TRENCH
1	15	30		5
2	75	150		65
3	105	210		95
4	95	190		85
5	85	170		75
6	65	130		55
7	25	50		15
8	75	150		65
9	25	50		15
10	85	170		75
11	20	40		10

LIGHT FIXTURE AND POLE DESCRIPTION	ILLUMINATION STRUCTURE ID	STATION	OFFSET (FEET)
ELA LIGHTING - BROOKSIDE FIXTURE / P3012-14' / CR-24 / H3 / 40LED / 120 / DSFG	L1		
ELA LIGHTING - BROOKSIDE FIXTURE / P3012-14' / CR-24 / H3 / 40LED / 120 / DSFG	L2		
ELA LIGHTING - BROOKSIDE FIXTURE / P3012-14' / CR-24 / H3 / 40LED / 120 / DSFG	L3		

BROWN & GAY ENGINEERS, INC. 2595 Dallas Parkway, Suite 204 Frisco, TX 75034 Tel: 972-464-4800 www.browngay.com TBPE Registration No. F-1046 Contact: Will Janney Tel: 972-464-4835 Copyright 2015

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**DEVELOPER**  
CENTURION AMERICAN  
1800 Valley View Lane, Suite 300  
Farmers Branch, TX 75234  
Contact: Michael Beaty  
Tel: 214-287-9009

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DAVIS/114 PD SITE PLAN PACKAGE  
**DAVIS/114 CORNER AT WESTLAKE ENTRADA**  
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TEXAS REGISTERED ENGINEERING FIRM F-1046  
SEAN P. MERRELL, P.E.  
TEXAS REGISTRATION NO. 95803  
MAY 5, 2015

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DATE:  
PROJECT NUMBER:

Sheet No.  
**LIGHTING & PHOTOMETRIC PLAN**  
**C10**





**W E S T L A K E   E N T R A D A   maa**









STARBUCKS COFFEE

















ENTRADA  
 85,921 ACRES  
 in the  
 C.M. THROOP SURVEY, ABSTRACT NO. 1510  
 W. MEDJIN SURVEY, ABSTRACT NO. 1958  
 TOWN OF WESTLAKE  
 TARRANT COUNTY, TEXAS

**DEVELOPMENT PLAN  
 OVERALL**

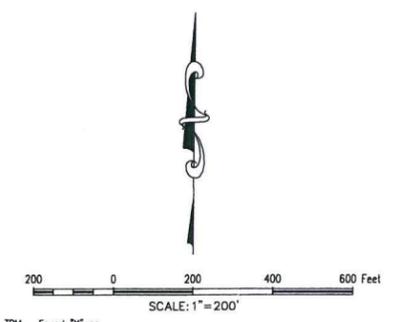
**PRELIMINARY PLANS**  
 THIS DOCUMENT IS FOR  
 INTERIM REVIEW AND IS  
 NOT INTENDED FOR  
 CONSTRUCTION, BIDDING,  
 OR PERMIT PURPOSES.  
 G&A CONSULTANTS, P.C. 1798  
 ROBERT JOHN DOLLAH, JR.,  
 P.E. #66898  
 DATE 10/23/2013

Drawn By: JJ  
 Date: 10/11/2013  
 Scale: 1" = 200'  
 Revisions:  
 10/23/2013

12139R

DP1

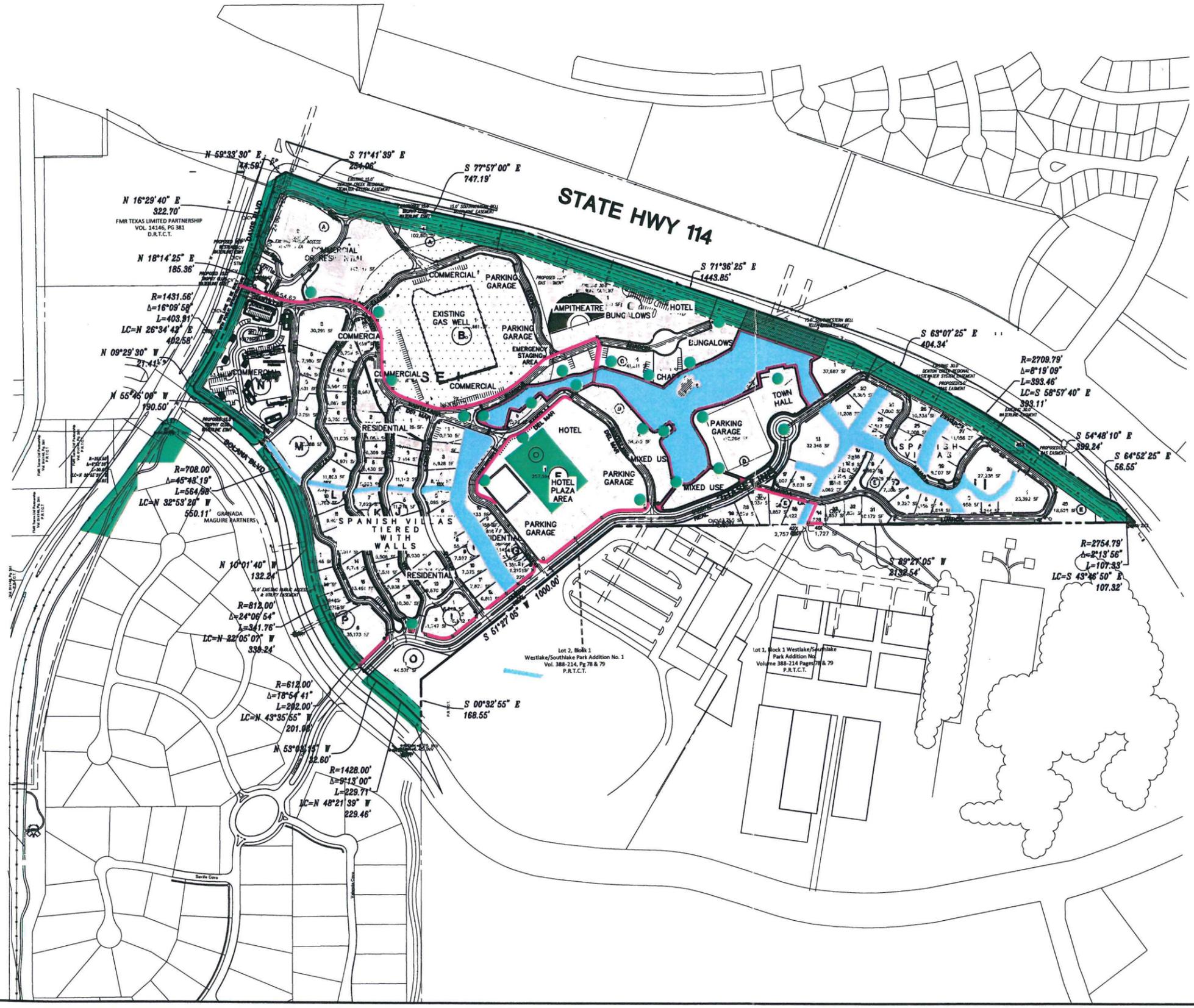
OWNER/DEVELOPER  
 MAGUIRE PARTNERS - SOLANA LAND, LP  
 1221 N. I-35E, SUITE 200  
 CARROLLTON, TEXAS  
 Ph: (469) 892-7200  
 Fax: (469) 892-7202  
 Contact: JACK DAWSON



TBM - Found "X" on  
 TBM - Found "X" on

LEGEND		
C.R.F.	Capped Rebar Found	Overhead Power Lines
C.R.S.	Capped Rebar Set	Down Guy Wire
C.M.	Control Monument	443
Mon.	Monument	443
BM	Benchmark	Existing Contours
FH	Fire Hydrant	Proposed Contours
WM	Water Meter	Concrete Pavement
WV	Water Valve	Asphalt Pavement
W/L	Water Line	Wood Fence
ICV	Irrigation Control Valve	Chain Link Fence
SSMH	Sanitary Sewer Manhole	Wire Fence
CO	Sanitary Sewer Cleanout	Masonry Wall
UP	Utility Pole	Existing Tree
LP	Light Pole	(FL) Flowline
TC	Top of Curb	Centerline of Creek, Swale, or Waterway
TP	Top of Pavement	Creek, Swale, or Waterway Embankment
TW	Top of Wall	
FG	Finished Grade	
U.E.	Utility Easement	
D.E.	Drainage Easement	
B.L.	Building Line	
R.O.W.	Right-of-Way	
D.R.	Deed Records	
P.R.	Plot Records	

- PA PUBLIC ART
- PAD PUBLIC ART & GATHERING
- PUBLIC WALK
- DOWNLIGHTING AT INTERSECTIONS
- DOWNLIGHTING BOLLARDS AT 150' CENTERS ALONG TRAIL
- LANDSCAPING



---

# Planning and Zoning

---

Item # 6 – Adjournment  
Regular Session

---

Back up material has not  
been provided for this  
item.

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